

# Architectural Design Spring 2025: Black Box Theater Project

TYPE OF WORK:

[ ] NEW CONSTRUCTION

[ ] SINGLE-FAMILY HOUSE

[ ] TWO-FAMILY HOUSE (DUPLEX)

[ ] ALTERATIONS TO EXISTING BUILDING

[ ] BUILDINGS CONSISTING OF THREE OR MORE TOWNHOUSE UNITS

[ ] ALTERATIONS

LEGEND:

N/A – NOT APPLICABLE

N/C – NON–CONFORMING

N/R – NOT REQUIRED

R – REQUIRED

N/S – NOT SHOWN ON DIAGRAMS

C – CONFORMS

CODES LEGEND:

NYSBC – 2020 BUILDING CODE OF NEW YORK STATE

ANSI A117.1 – 2009 HANDICAP ACCESSIBILITY

NYSMC – NYS MECHANICAL CODE 2020

NYSPC – NYS PLUMBING CODE 2020

NYSEC – NYS ENERGY CODE 2020

NYSFC – NYS FIRE CODE 2020

NYSFGC – NYS FUEL GAS CODE 2020

1. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE–FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITY (POWER POLES, PULL–BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK–UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES –WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES. OBTAIN APPROVAL FROM REAL ESTATE BUSINESS UNIT OF DWP (213)367–0562.

2. OBTAIN PERMITS FROM PUBLIC WORKS PRIOR TO CONSTRUCTION FOR:

A) TEMPORARY PEDESTRIAN PROTECTION AS REQUIRED BY LABC SECTION 3306.

B) FOR ANY CONSTRUCTION NEAR ANY STREET OR PUBLIC AREA.

3. ALL NEW LIGHTING SHALL BE FROM AN ENERGY HIGH EFFICACY LIGHT SOURCE (E.G. FLUORESCENT LAMP). (T–24, SEC. 150(K))

4. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT–CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R303.1)

5. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.

6. THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION.PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM (R306.3)

7. A MAINTENANCE OF VEHICLE LIFT SYSTEM (2–LEVELS OR MORE) AFFIDAVIT” SHALL BE APPROVED SHALL BE APPROVED AND RECORDED PRIOR TO ISSUING A BUILDING PERMIT.

8. ALL FOOTINGS SHALL BEAR ON UNDISTURBED VIRGIN SOIL HAVING A MIN. BEARING CAPACITY OF 3000 PSI.

9. ALL FOUNDATION WALLS AND VERTICAL CONCRETE EXPOSED TO WEATHER AND FOOTINGS AND BASEMENT SLABS SHALL BE MIN 3000 PSI PLAIN CONCRETE, AIR ENTRAINED IN FREEZE/ THAW WEATHER CONDITIONS.

10. ALL PORCHES, CARPORTS SLABS, STEPS EXPOSED TO THE WEATHER. AND GARAGE FLOOR SLABS SHALL BE 3,500 PSI AIR ENTRAINED CONCRETE.

11. ALL FOOTINGS SHALL BE POURED AT A MIN DEPTH OF 3’ BELOW GRADE REGARDLESS OF SOIL CONDITIONS.

12. DAMP PROOF ALL CONCRETE WALLS ENCLOSING HABITABLE OR USABLE SPACE.

13. ON NEW CONSTRUCTION OVER EXISTING, VERIFY EXISTING POURED CONCRETE SPREAD FOOTINGS.

14. ALL STEPPED FOOTINGS SHALL HAVE FLAT TOPS AND BOTTOMS LEVEL AND TRUE TO INSURE MAX BEARING AND SHALL BE STEPPED AT A 12 SLOPE MAX. MAINTAINING THE THICKNESS, AS NOTED ON THE DRAWINGS AT ALL POINTS.

15. THE CONTRACTOR SHALL COORDINATE AND PLACE ALL SLEEVES REQUIRED FOR PLUMBING ELECTRICAL OR ANY OTHER TRADE PERFORMING WORK THAT REQUIRES PASSING THROUGH ANY FOUNDATION WALLS.

16. ALL SHEATHING AND SUBFLOORING SHALL BE SPECIES GROUP ONE. EXTERIOR GRADE: THICKNESS AS INDICATED.

17. CROSS BRIDGING OR SOLID BLOCKING SHALL BE INSTALLED AT ALL JOISTS 8–0 OC MAX AND SOLID BLOCKING/ FIRESTOPPING AT BEARING PARTITIONS.

18. ALL HORIZONTAL FRAMING BEARING ON BEAMS, GIRDERS OR PLATES OF BEARING PARTITIONS SHALL BE LAPPED 4 MIN. (SEE BLOCKING NOTE).

19. ALL FLUSH FRAMING SHALL BE CONNECTED WITH MANUFACTURED STEEL CONNECTIONS, SIZED AND NAILED IN ORDER TO SUPPORT THE REACTIVE LOAD OF THE MEMBER SUPPORTED.

20. INSTALL FIRE STOPPING AT ALL REQUIRED LOCATIONS TO COMPLY WITH GOVERNING BUILDING CODE.

21. PROVIDE FIRE RATED ASSEMBLIES AS CALLED FOR ON DRAWINGS.

22. ALL STEEL SHALL BE TYPE A36, FY 36 KSI.

23. LICENSED CONTRACTORS IN ACCORDANCE WITH APPLICABLE CODES AND REGULATIONS GOVERNING SHALL PERFORM ALL PLUMBING, HVAC, AND ELECTRICAL WORK.

24. ALL STORM WATER AND SEWAGE DISPOSAL SYSTEMS SHALL BE DESIGNED AND INSTALLED AS PER GOVERNING CODES AND HEALTH DEPT. REGULATIONS.

25. ALL NEW UTILITIES INDICATED SHALL BE DESIGNED. INSTALLED, AND TERMINATED BY LOCAL UTILITY COMPANIES.

26. ALL NEW CONSTRUCTION SHALL MEET THE REQUIREMENTS OF LOCAL AUTHORITIES.

27. ALL BEAMS IN CEILING CONCEALED UNLESS OTHERWISE NOTED.

28. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING.

29. THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS OF THE SITE AND/OR BUILDING.

30. THE CONTRACTOR SHALL, UNLESS OTHERWISE PROVIDED IN THE CONTRACT DOCUMENTS, SECURE AND PAY FOR THE REQUIRED CONSTRUCTION PERMIT(S), FEES, LICENSES AND INSPECTIONS NECESSARY FOR THE PROPER EXECUTION OF TIC WORK. APPLICATION FOR CONSTRUCTION PERMITS SHALL BE PROCESSED THRU THE BUILDING CODE COMPLIANCE DIVISION OF THE AUTHORITY.

31. COORDINATION OF ALL WORK UNDER THIS CONTRACT SHALL BE MAINTAINED TO ENSURE THE QUALITY AND TIMELY COMPLETION OF THE WORK/PROJECT.

32. THE CONTRACTOR SHALL PERFORM ALL CUTTING AND PATCHING REQUIRED TO COMPLETE THE WORK OR TO MAKE ITS PARTS FIT TOGETHER PROPERLY WITHOUT COMPROMISING THE QUALITY OF THE WORK.

33. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTIONS, AND OFF ALIGNMENTS ACCORDING TO CODES AND STANDARDS OF GOOD PRACTICE.

34. THE CONTRACTOR SHALL CORRECT ANY VARIATIONS IN FLOOR ELEVATIONS CREATED BY THE REMOVAL OF PARTITIONS AND/OR FOR THE INSTALLATION OF NEW DOOR OPENINGS.

35. THE CONTRACTOR SHALL NOT CONSTRUCT, UNLESS OTHERWISE NOTED, INTERIOR CMJ PARTITION WALLS TO FULL HEIGHT UNTIL ALL PIPES, DUCTS. ETC ARE IN PLACE.

36. THE CONTRACTOR SHALL INSTALL SUSPENDED CEILINGS, TO MEET THE CEILING HEIGHT REQUIREMENTS INDICATED IN THE CEILING SCHEDULE.

37. THE CONTRACTOR SHALL PATCH AND REPAIR ALL FLOORS, WALLS CEILINGS, ETC... DAMAGED OR EXPOSED DUE TO WORK OR REMOVALS AND FINISH TO MATCH ADJOINING SURFACES.

38. AT TOILET AREAS AND OTHER LOCATIONS WITH ONE DRAIN ONLY, PROVIDE DRAIN ” BELOW FINISH FLOOR AND PROVIDE A TWO (2) FEET SWALE IN CONCRETE TO DRAIN. ALL VERTICAL SHAFTS SHALL HAVE A MINIMUM FIRE RATING OF 2–HOURS UNLESS REQUIRED OTHERWISE BY CODES DUE TO OCCUPANCY ADJACENCIES.

39. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF PLUMBING FIXTURES PRIOR TO THE CONSTRUCTION OF PARTITIONS BEHIND SUCH FIXTURES.

40. THE CONTRACTOR SHALL INSTALL FLOORING MATERIAL INTO ALL WARDROBES AND CLOSETS.

41. UNLESS OTHERWISE NOTED, EXTERIOR BRICK WALLS SHALL BE INSTALLED IN A RUNNING BOND.

42. FIRESTOPPING SHALL BE INSTALLED AT ALL PENETRATIONS OF FIRE–RATED CONSTRUCTION AS PER SPECIFICATIONS. FIRESTOPPING MATERIALS ARE TO BE APPROPRIATE FOR, AND BE PART OF A LISTED AND LABELED ASSEMBLY IN ACCORDANCE WITH THE BUILDING CODE OR HAVE OTCR OR MEA APPROVAL.

NO.	TOPIC	CODE SECTION	PAGE	REQUIRED OR ALLOWED
1	NYRC LIMITATION	R101.2		
	STATE AGENCY REGULATION	R101.2.1		DETACHED 1 - OR 2 - FAMILY TOWNHOUSES 3 STORY, SEPARATE AGREES
	COMMUNITY RESIDENCE			
	HOSPICE			
	CONVERSION TO BED&BREAKFAST	AJ701		
2	BUILDING HEIGHT			SPECIFIC LMT. BASED ON MATERIALS
	NUMBER OF STORIES			
	WOOD	TAB R602.3(5)		2X6 ALLOWS 3 STORIES
	STEEL	R605.1		2 STORIES MAX
	IFC FOUNDATION	R404.4.1		2 STORIES MAX
3	DESIGN & LOAD LIMITATION	TAB R301.2(1)		
	WIND	R301.2.1		CHECKLIST PG.1
	SEISMIC	R301.2.2		110 MPH
	SNOW LOAD	R301.2.3		CATEGORY D1
	LIVE LOAD	TAB R301.5		OVER 70 PSF GROUND SNOW
4	LOCATION ON LOT	R302		> 3' FROM LOT LINE – (1HR.)
5	LIGHT & VENTILATION	R303		
	HABITABLE LIGHT	R303.1		8% OF FLOOR AREA
	HABITABLE VENTILATION	R303.1		4% OF FLOOR AREA
	STAIRWAY ILLUMINATION	R303.4		ARTIFICIAL LIGHT REQ'D
6	ROOM AREA			
	HABITABLE ROOM	R304.1		MIN. 120 SF 11 ROOM
	OTHER ROOMS	R304.2, R304.3		70 SF OTHER ROOMS, 7' MIN DIMENSIONS
	CEILING HEIGHT			
	HABITABLE	R305.1		7'-8" IN MIN
	OTHER ROOMS			7' MIN.
7	GLAZING			
	SAFETY GLAZING LOCATIONS	R308		
	SKYLIGHTS/SLOPED GLAZING	R308.4		
		R308.6		
8	GARAGE - ATTACHED	R309		
		R309.1		3/4 HR. SELF-CLOSING DOOR
		R309.2.1 EXCEPT.		3/4 HR.WALL, ONE LAYER 5/8" TYPE X
		R309.2.2		ONE LAYER 5/8" TYPE X
9	EMERGENCY ESCAPE & RESCUE OPENINGS			
	MINIMUM OPENING AREA	R310		
	OPENING HEIGHT	R310.1.1		5.7 SQ FT @ 6.0 SQ FT
	OPENING WIDTH	R310.1.2		24 IN (NET CLEAR)
		R310.1.3		20 IN (NET CLEAR)
10	EXIT DOORS	R311.4.1		MIN. 1 PER DWELLING UNIT
	DOOR TYPE AND SIZES	R311.4.2		3FT8FT-4IN SIDE HINGED
	LANDING	R311.4.3		

GROUND SNOW LOAD	WIND SPEED (MPH)	SEISMIC DESIGN CATEGORY	WEATHERING	SUBJECT TO DAMAGE FROM Frost Depth	TYPICAL	WINTER DESIGN TEMP	ICE SHIELD UNDERLAYMENT	FLOOD HAZARDS	AIR FREEZING INDEX
20	130 VULT	B	SEVERE	BOF 3FT BFG	MOD TO HEAVY	SEE BLW.	REQ'D	CALL THE PLANS EXAMINER'S OFFICE	599

NO.	TOPIC	CODE SECTION	PAGE	REQUIRED OR ALLOWED
11	STAIRS			
	UPPER STAIR PROTECTION	R311.4.9		GYP IF ENCLOSED
	WIDTH - MINIMUM	R311.2.2		36 IN.
	HEADROOM	R311.5.1		8FT 8IN. HEIGHT
	TREAD DEPTH	R311.5.2		9IN.
	RISE HEIGHT	R311.5.3		8-1/4"IN.
	LANDING	R311.6.4		
	SPIRAL	R311.5.8.1		NP AS ONLY MEAN OF EGRESS FROM A STORY
12	HANDRAILS/RAILINGS			
	WHERE REQ'D	R311.4.9		
	HEIGHT	R3115.6.1		4 OF MORE RISERS
	CONTINUITY	R311.5.8.2		MIN 34 IN MAX 38 IN.
	GAUDES	R312		2X6 ALLOWS 3 STORIES
	WHERE REQ'D	R312.1		SURFACES RABED 30"
	HEIGHT			MIN. 36"
	OPENING LIMITATION	R312.2		4' SPHERE, 6" TRIANGLE EXCEPT, 4-3/8" STAIR INSIDE, OUTSIDE, & EACH LEVEL INTERC. & WIRED
13	SMOKE ALARMS	R313.1		
	AUTOMATIC SPRINKLER SYSTEMS	R313.3		
	CO ALARMS REQ'D	R313.4		3 STORIES
	LOCATIONS			IF CO SOURCE EXISTS
14	FOAM PLASTIC INSULATION	R314		STORY WITH SLEEPING, WITH CO SOURCE
15	WALL AND CEILING FINISHES			
	FLAME SPREAD CLASSIFICATION	R315.1		NOT GREATER THAN 200
	INTERIOR COVERINGS	R702.1 (1) TO (3)		BASED ON MATERIAL USED
	PLASTER	R702.3.5		
	GYP SUM	R703		BASED ON MATERIAL USED
	EXTERIOR SIDING COVERINGS	TABLES R703.4 & R703.5.2		
16	DWELLING SEPARATION	R317		
	2-FAMILY- REQUIRED	R317.1		1 HR. MIN
	SPRINKLER EXCEPT ON TOWNHOUSES, SEPARATE BLDGS.	R317.2		1.5HR MIN
	EXTERIOR WALL			EACH 1 HR MIN
	EXCEPT ON COMMON WALL			2 HR MIN
	PARAPET WALLS	R317.2.2 & R317.2.3		1 HR MIN
	STRUCTURAL	R321.2.4		INDEPENDENT
17	PROTECTION OF THE STRUCTURE			
	DECAY	R319		
	TERMITES	R320		
9	EXTERIOR WINDOWS AND GLASS DOORS	R613		
	PERFORMANCE	R613.2		
	TESTING/LABELING	R613.3		
	WIND-BORNE DEBRIS	R613.4, R613.6		SAME REQ'D. (1)3.4 ALL GLAZING)
	ANCHORAGE	R613.5		(1)3.6 MULTIGLASS GLAZING)
	MULLIONS	R613.6		
18	FIREPLACES AND STOVES	CHAPT.10		
	MASONRY FIREPLACES	R1003		
	FACTORY BUILT FIREPLACES	R1004		
	EXTERIOR AIR SUPPLY	R 1005		
19	CHIMNEYS AND GAS VENTS	CHAPTS.10,18,24		
	MASONRY CHIMNEYS	R1001		
	FACTORY-BUILT CHIMNEYS	R1002		
	DRAFT	M 1801.2		
	FIRE BLOCKING	M 1801.3 & R802.8		
	MULTIPLE-APPLIANCE VENTING	M1801.14		
20	PLUMBING	CHAPT. 33-42		
	FIXTURES REQUIRED	R308		
	FIXTURE SPACING	R307.1 FIG. 307.2		
	WASTE TYPE/APPROVAL	R306.3 & P2602		
	WATER SUPPLY/APPROVAL	R306.4 & P2602		
	ANTISCALD DEVICES	P2602.2		
21	ELECTRICAL REQUIREMENTS	CHAPT. 33-42		
	RECEPTACLE PLACEMENT	E3801.21		
	GFCI AND ARC FAULT	E3802		
	SWITCH LOCATIONS	E3805		12FT MAX GFCI IN LOCATION ARE FAULTY FOR BEDROOMS 1 PR. HABITABLE, RM & BTHRM
22	ENERGY COMPLIANCE	CHAPT. 11		
	CLIMATE ZONE	TABLE N1.101.2		
	HEATING DEGREE DAYS			
	BUILDING ENVELOPE	TABLE N1.102.1		
	PENETRATION U-FACTOR			
	SKYLIGHT U-FACTOR			
	GLAZING SHGC			
	CEILING R-VALUE			
	WOOD WALL R-VALUE			
	CEILING R-VALUE			
	BASEMENT WALL R-VALUE			
	SLAB R-VALUE, DEPTH			
	CHAMF SPACE			
	ENERGY OF AN ALTERNATIVE			
	RES CHECK COMPLIANCE	ECOCNY CHAP. 4		

VILLAGE OF FARMINGDALE BUILDING CODE REVIEW NOTE:

THIS NOTE IS PLACED ON THESE DRAWINGS AS REQUIRED BY THE VILLAGE OF FARMINGDALE BUILDING DEPARTMENT.

VILLAGE OF FARMINGDALE BUILDING PLANS EXAMINER HAS REVIEWED THE ENCLOSED DOCUMENT FOR THE MINIMUM ACCEPTABLE PLAN SUBMITTAL REQUIREMENTS OF THE TOWN OF ISLIP AS SPECIFIED IN THE BUILDING AND/OR RESIDENTIAL CODE OF THE STATE OF NEW YORK. THIS REVIEW DOES NOT GUARANTEE COMPLIANCE WITH THAT CODE. THE SEAL AND SIGNATURE OF THE DESIGN PROFESSIONAL HAS BEEN INTERPRETED AS AN ATTESTATION THAT, TO THE BEST OF THE LICENSEE’S BELIEF AND INFORMATION, THE WORK IN THE DOCUMENT IS:

• ACCURATE

• CONFORMS WITH GOVERNING CODES APPLICABLE AT THE TIME OF SUBMISSION

• CONFORMS WITH REASONABLE STANDARDS OF PRACTICE AND WITH VIEW TO THE SAFEGUARDING OF LIFE, HEALTH, PROPERTY AND PUBLIC WELFARE

• IS THE RESPONSIBILITY OF THE LICENSEE

CS – COVER SHEET

A1 – SITE PLAN

A2 – FOUNDATION PLAN

A3 – FIRST & SECOND FLOOR PLAN

A4 – ROOF PLAN

A5 – R.C PLAN

A6 – ELEVATIONS

A7 – SECTIONS

A8 – DETAILS

R101 – STK SET

R102 – STK SET

Camps Architects

PROJECT ADDRESS:

141 DIVISION ST.

FARMINGDALE NY, 11735

DRAWN BY: S.C

DATE: 19MAY2025

General Notes

Project Section

49

Block

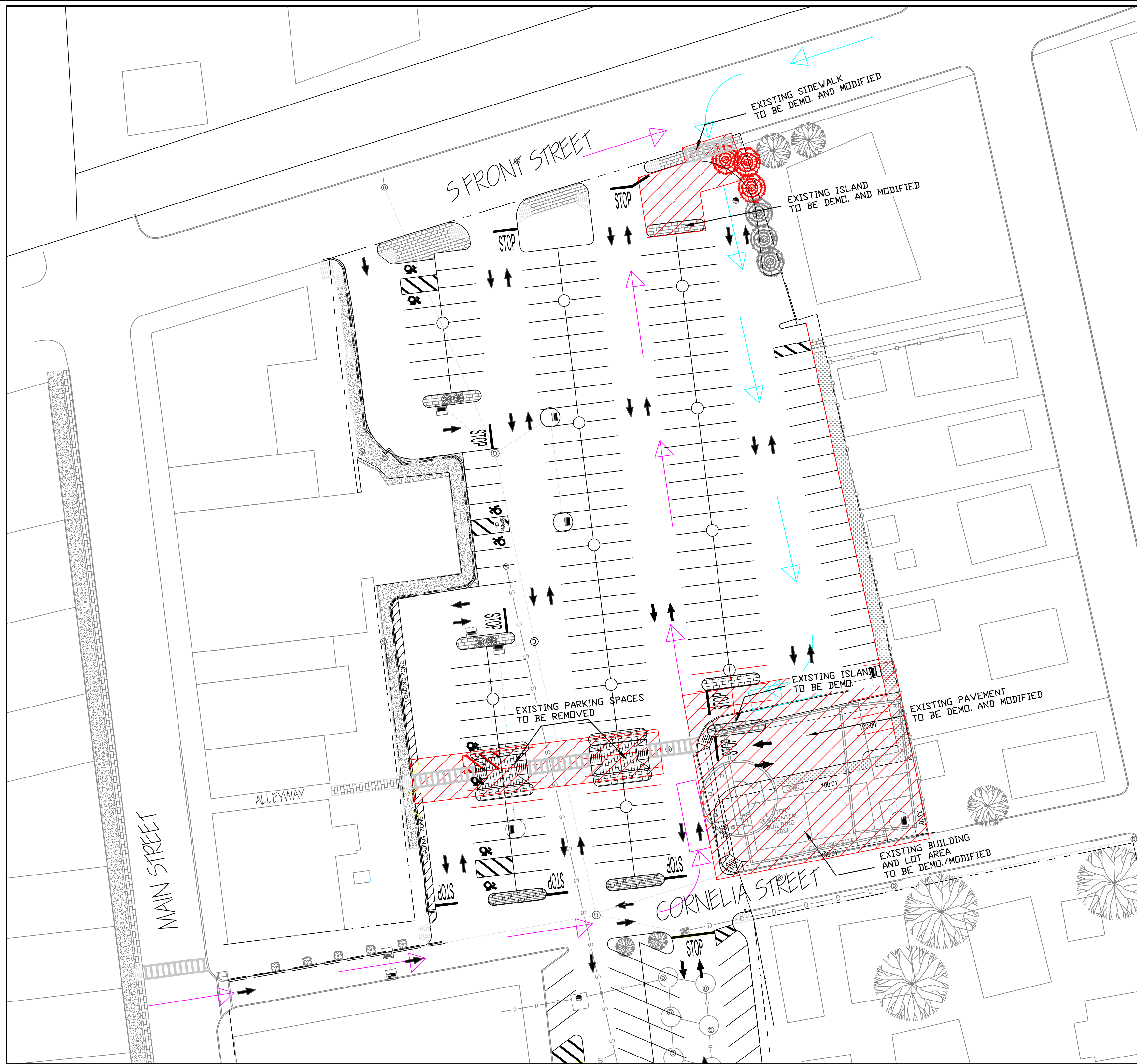
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Lot # :

17

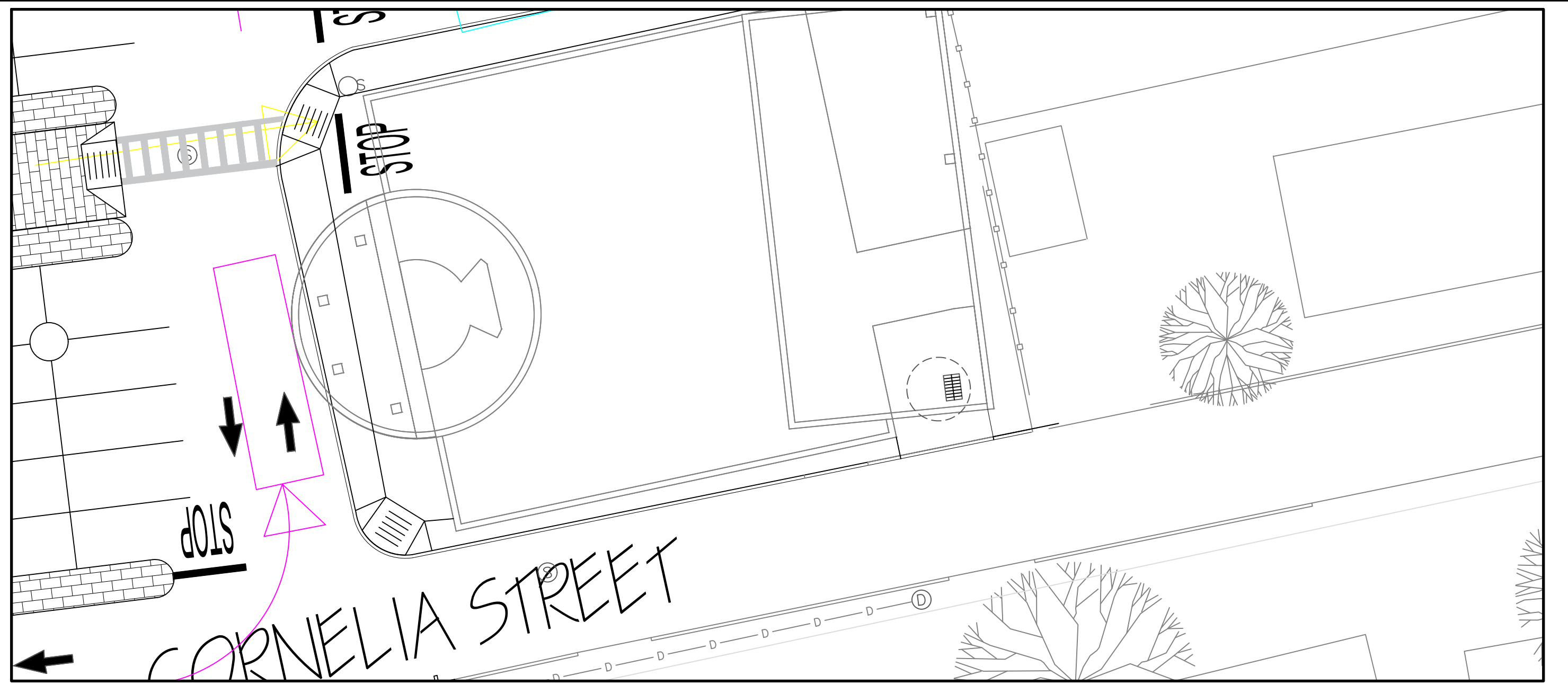
C101





COMPREHENSIVE SITE PLAN  
SCALE: 1/32" = 1'-0"

PROPOSED VALET PARKING WOULD BE CONSIDERED AT THE LIRR TRAIN STATION AND IF THERE'S NO SPACE AT THE LIRR, THEN PARKING WOULD BE AT THE AQUATIC CENTER.



BUILDING ON SITE PLAN  
SCALE: 1/16" = 1'-0"



PEDESTRIAN ROUTE & DROP OFF/PICK UP CIRCULATION PLAN  
SCALE: 1/32" = 1'-0"

	PEDESTRIAN ROUTE
	DROP OFF CIRCULATION
	PICK UP CIRCULATION
	DEMOLITION



DESIGN 4  
PROFESSOR ANDERSON  
FARMINGDALE STATE COLLEGE  
2350 BROADHOLLOW ROAD  
FARMINGDALE NY 11735

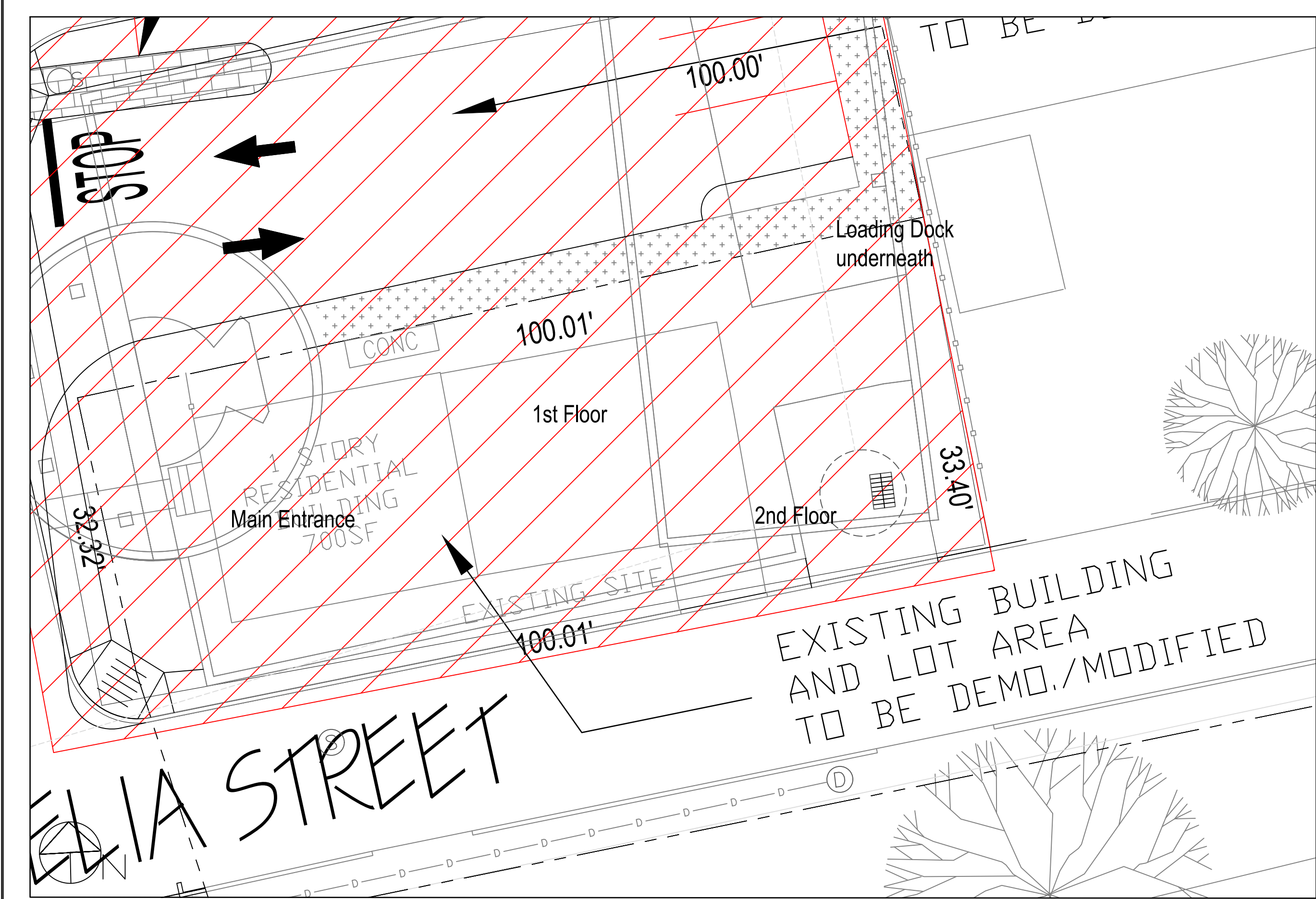
# PRELIMINARY SITE PLAN

PROJECT ADDRESS: 141 DIVISION ST.  
FARMINGDALE NY, 11735  
TAX MAP #: 49 - 001 - 17  
DRAWN BY: STEPHANIE CAMPOS  
DATE: 14APRIL2025  
SCALE: 1/32" = 1'-0"  
REVISIONS:

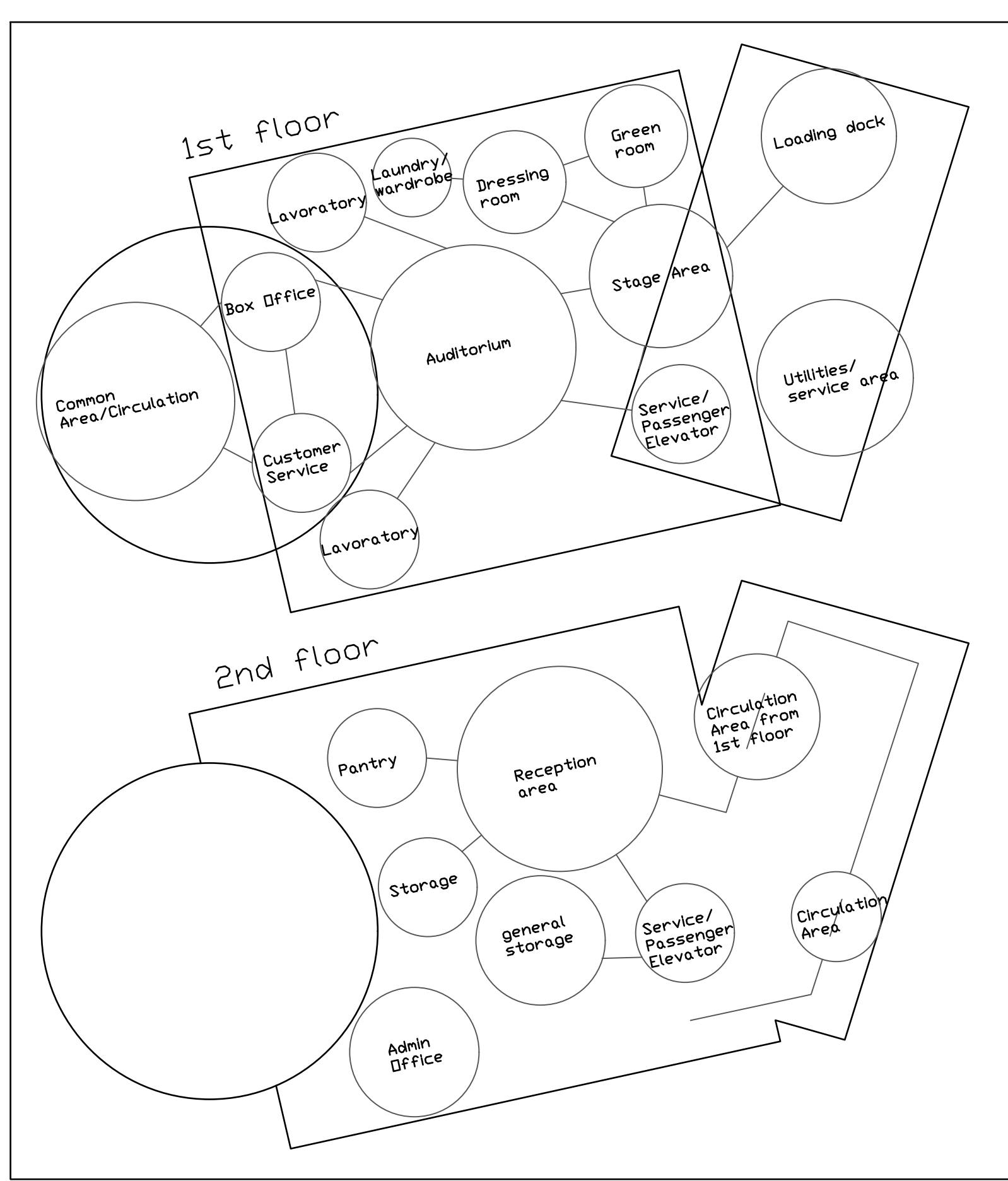
SHEET TITLE

R-102





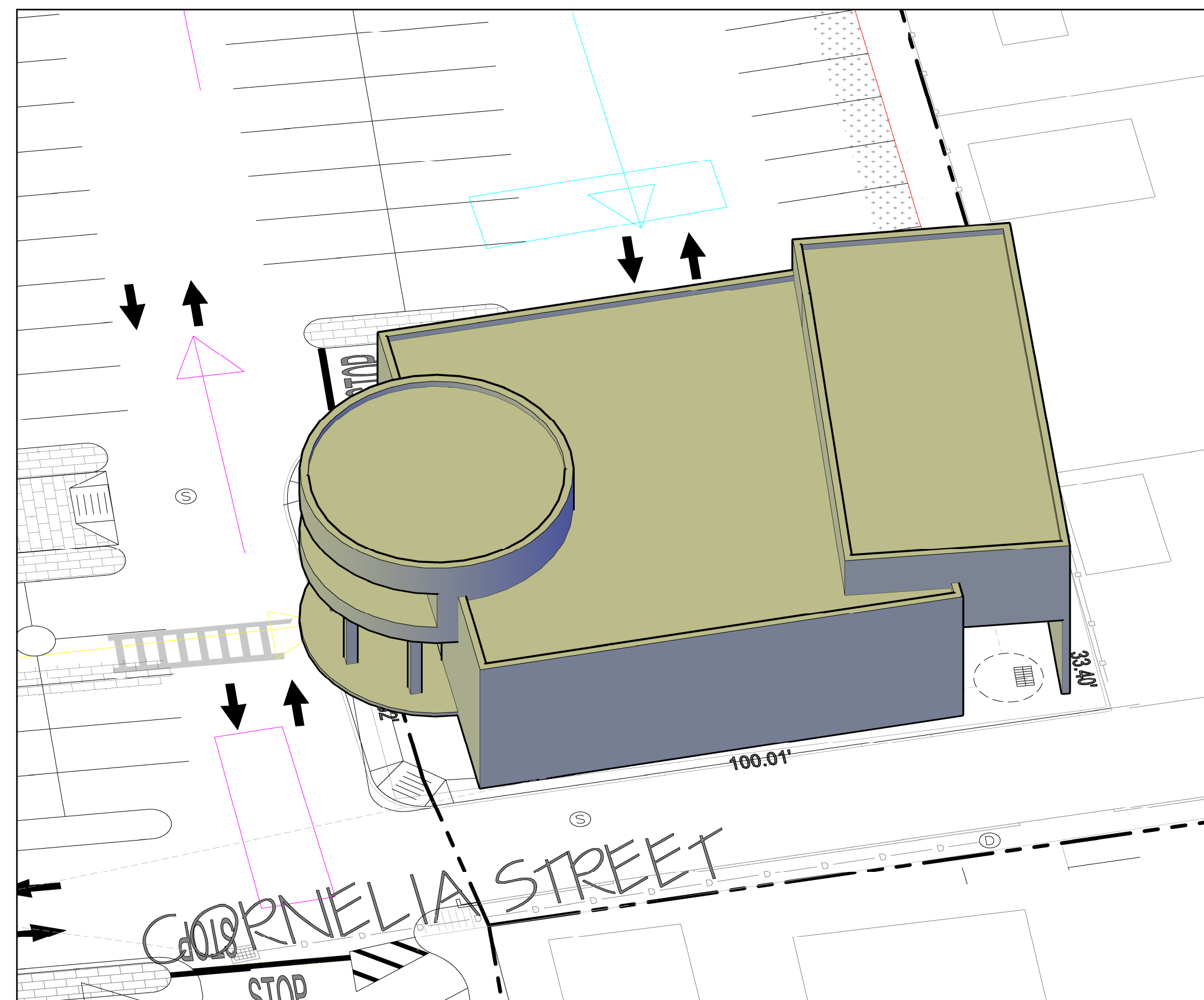
SCALE: 3/32" = 1'-0"



SCALE: NTS



SCALE: 1/64" = 1'-0"



SCALE: 3/32" = 1'-0"

## NARRATIVE

**Introduction:** The Village of Farmingdale plans to develop a Performing Arts Center on a site adjacent to the Main Street district to provide a flexible community space to host community-based drama, music and cultural performances. The village has identified the site at 141 Division Street, which is adjacent to the east parking area serving the Main St. district between Conklin St. and Front St. The project program and design response will be developed using a black box theater concept that provides a flexible lobby/arrival area, flexible staging and seating for 130-180 people with performance support spaces and building support spaces.

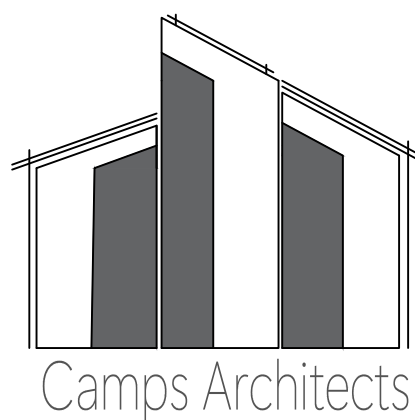
**Conceptual Idea:** The proposed Performing Art Center (PAC) in Downtown Farmingdale will feature:

- A striking architectural design that harmoniously blends a circular main entrance with uniquely shaped rectangular elements.
- The circular entrance symbolizes inclusivity and community, inviting residents and visitors into a vibrant cultural hub.
- A central rectangular structure as the main performance space, providing versatile functionality for various events.
- An angled rectangular extension adds dynamic visual interest and further enhances the building's adaptability, allowing for additional programming and community engagement.

This innovative design not only distinguishes the PAC as a landmark but also fosters social interaction and accessibility. The circular entrance facilitates smooth pedestrian flow, while the entire structure prioritizes universal access, ensuring everyone can enjoy the arts. Sustainability is key, with large glass panels maximizing natural light and promoting energy efficiency. By attracting visitors and supporting local artists, the PAC will act as a catalyst for economic revitalization in Downtown Farmingdale, enriching the community and enhancing its cultural landmark.

### SWOT Analysis:

- **Strengths:** A uniquely shaped entrance that visually attracts people coming from main street. Energy efficiency, contributing to energy savings reducing operational costs.
- **Weaknesses:** The parking lot layout may not be favorable considering the size of the Performing Art Center. The design of the parking lot needs to be adjusted, if not the circulation from main street to the PAC is unfavorable. Higher maintenance needs, may require more frequent maintenance and cleaning, increasing operational costs over time. Potential service access conflicts.
- **Opportunities:** Visual landmark for the village, can facilitate better pedestrian flow. Gathering space encouraging social interaction before and after performances. Maximized use of natural lighting in the building contributing to energy efficiency. Working with local artists featuring their artistic elements to enhance the aesthetic appeal.
- **Threats:** Higher quality materials will affect construction costs. Engineering complexity, may create confusion to visitors unfamiliar with the space leading to disorientation during events. Cultural resistance/mixed community reaction: may be perceived too modern or out of character with the surrounding architecture.



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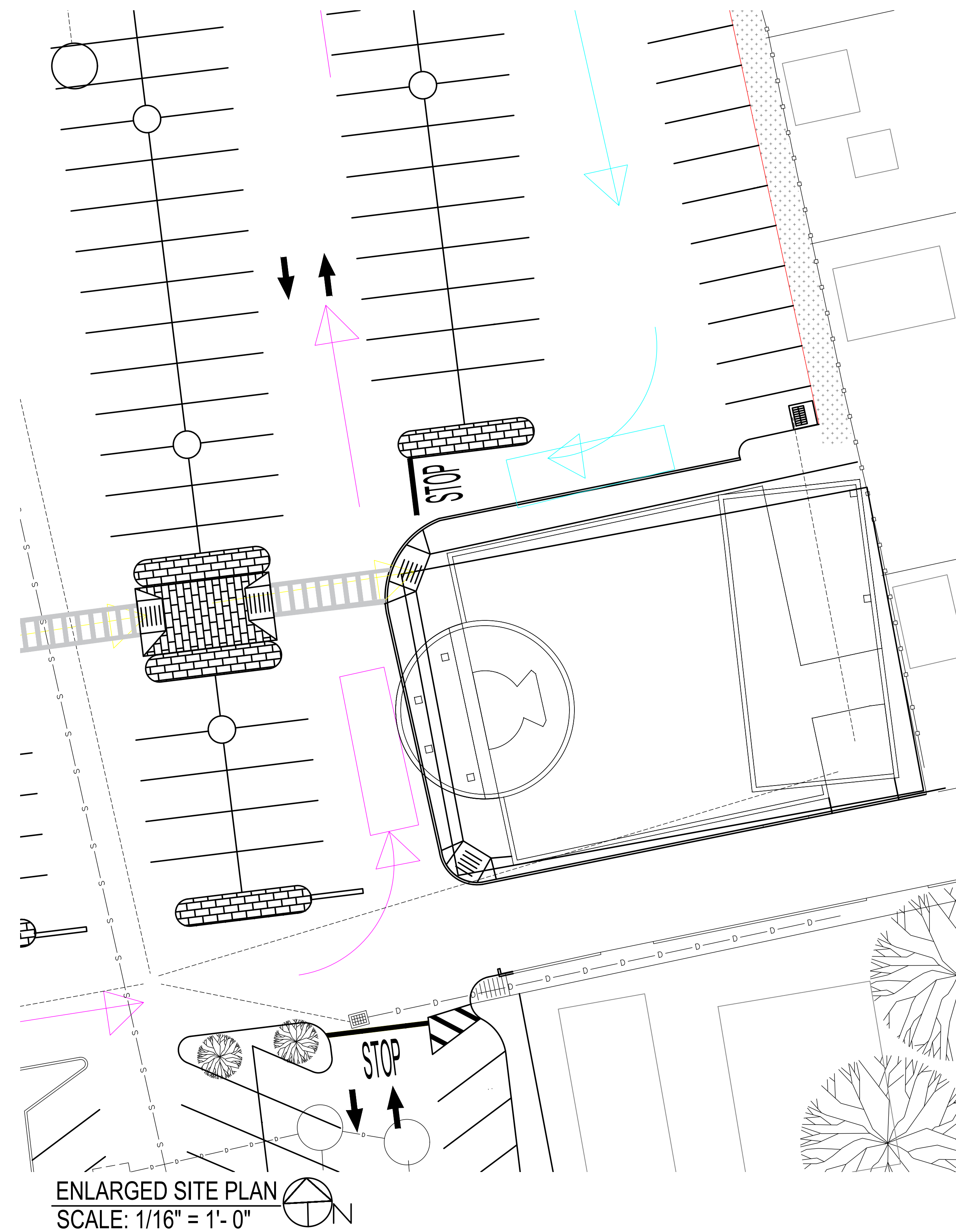
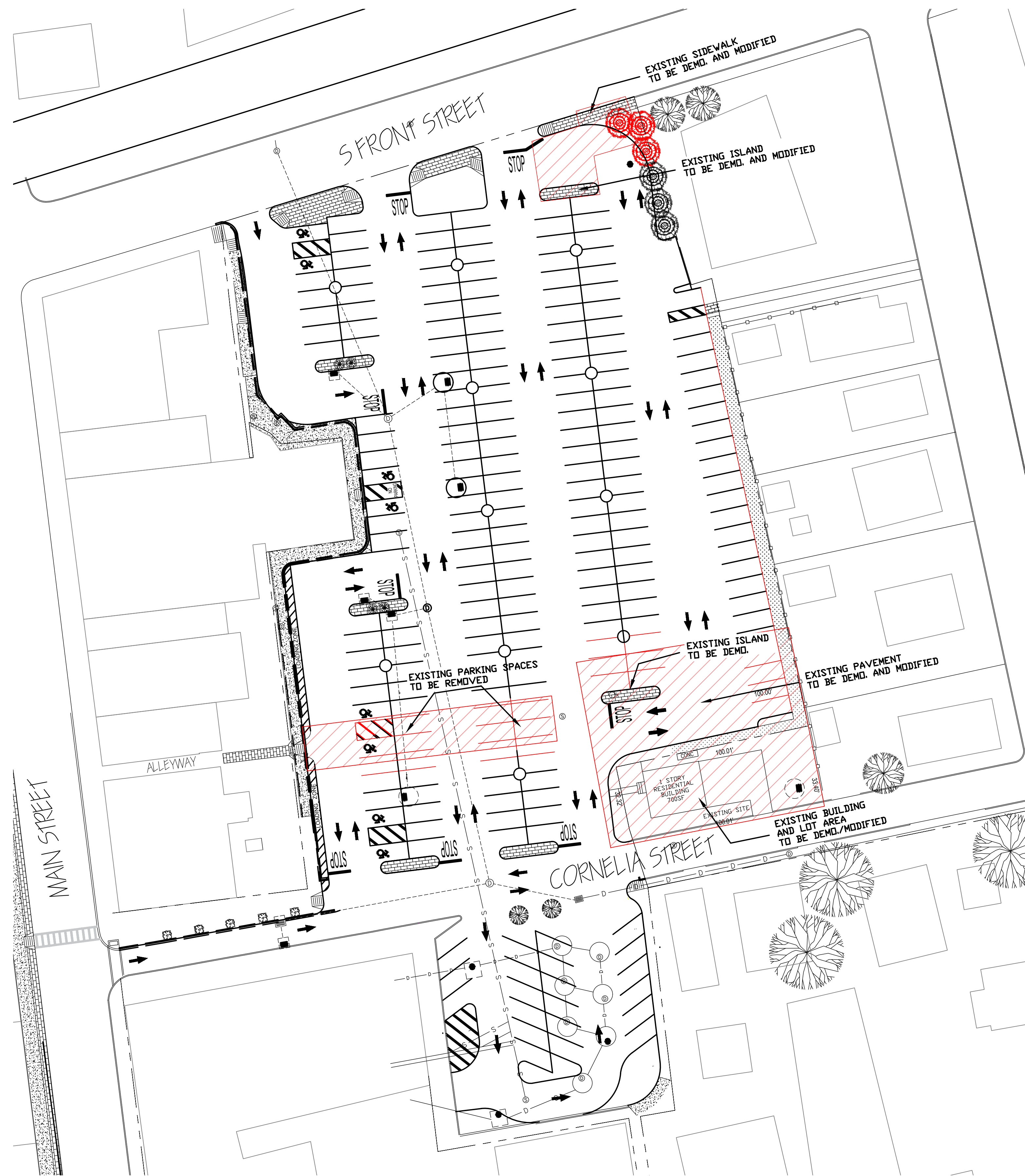
# PROJECT NARRATIVE

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FARMINGDALE NY, 11735  
TAX MAP #: 49 - 001 - 17  
DRAWN BY: STEPHANIE CAMPOS  
DATE: 14APRIL2025  
SCALE: AS NOTED  
REVISIONS:

SHEET TITLE

R-101





## SITE DATA

## Downtown Mixed-Use (D-MU) Zoning District

SECTION: 49

BLOCK: 001

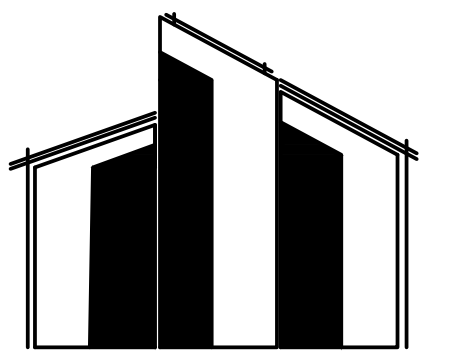
LOT #: 17

CURRENT LOT SIZE = 3200 SF

GFA = 1466 SF

General Notes

DESIGN 4  
PROFESSOR ANDERSON  
FARMINGDALE STATE  
COLLEGE  
2350 BROADHOLLOW  
ROAD  
FARMINGDALE NY 11735



PROJECT ADDRESS:  
141 DIVISION ST.  
FARMINGDALE NY, 11735

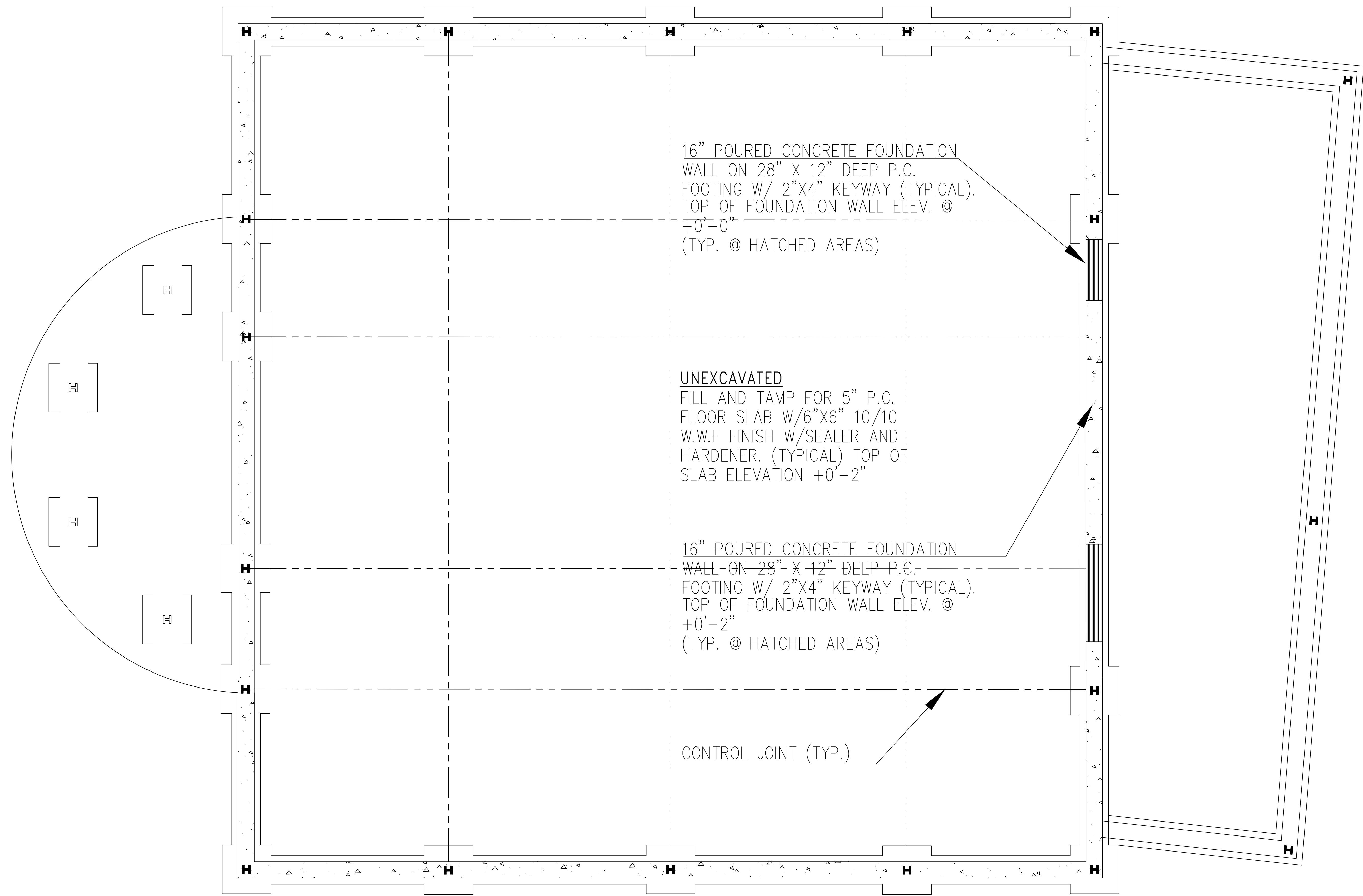
DRAWN BY: S.C  
DATE: 19MAY2025  
SCALE: AS NOTED

## SITE PLAN

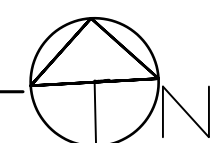
Project Section	49
Block	001
Lot # :	17

C101



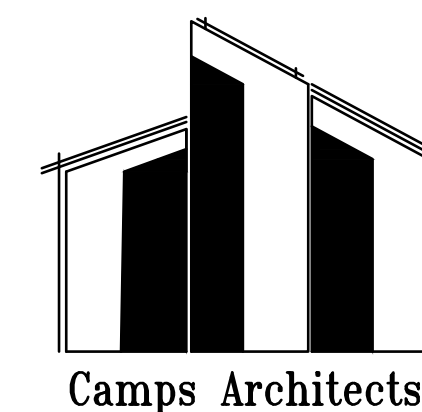


FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"



General Notes

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PROFESSOR ANDERSON  
FARMINGDALE STATE  
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DRAWN BY: S.C  
DATE: 19MAY2025  
SCALE 1/4" = 1'-0"

FOUNDATION PLAN

Project Section

49

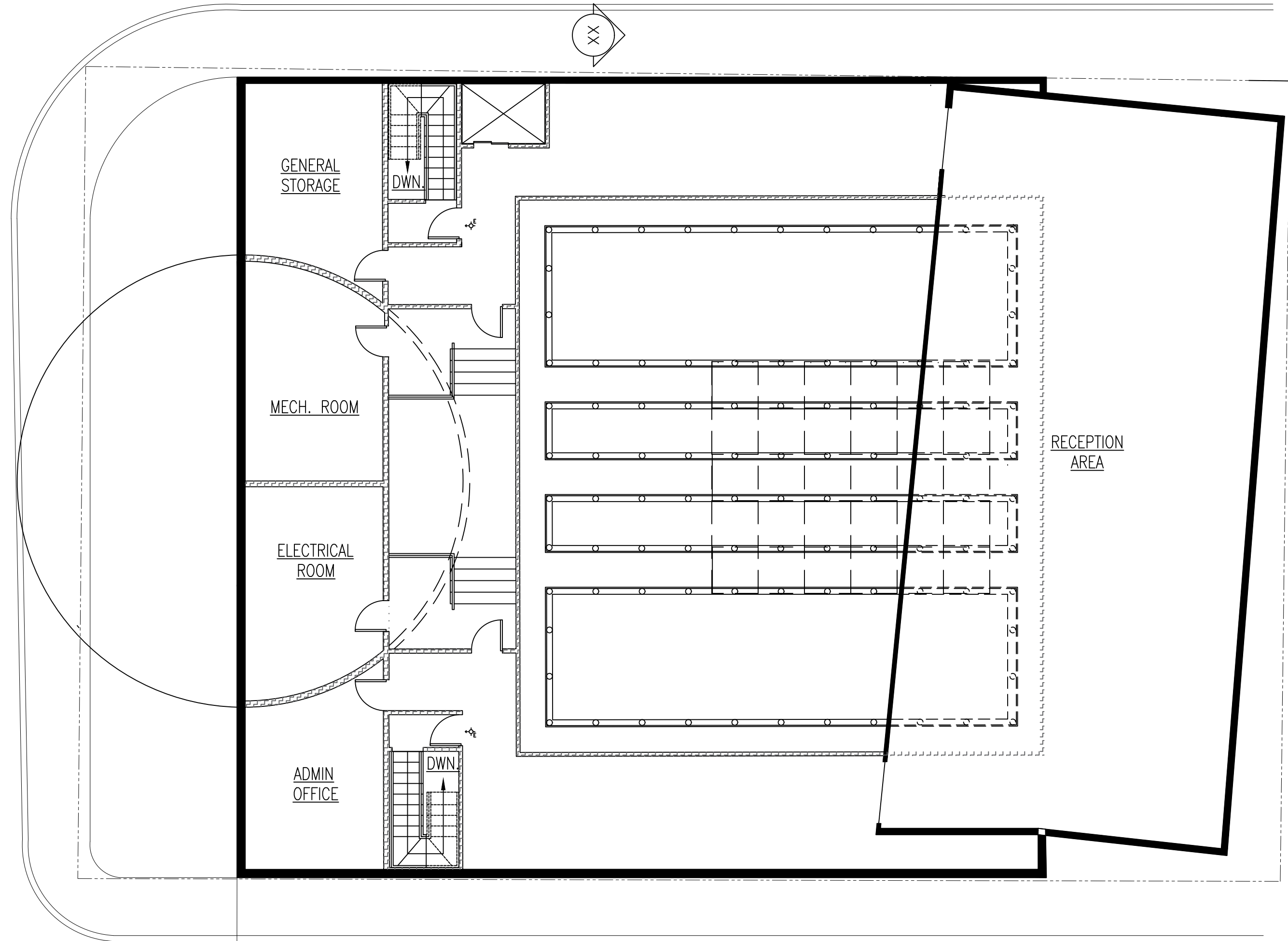
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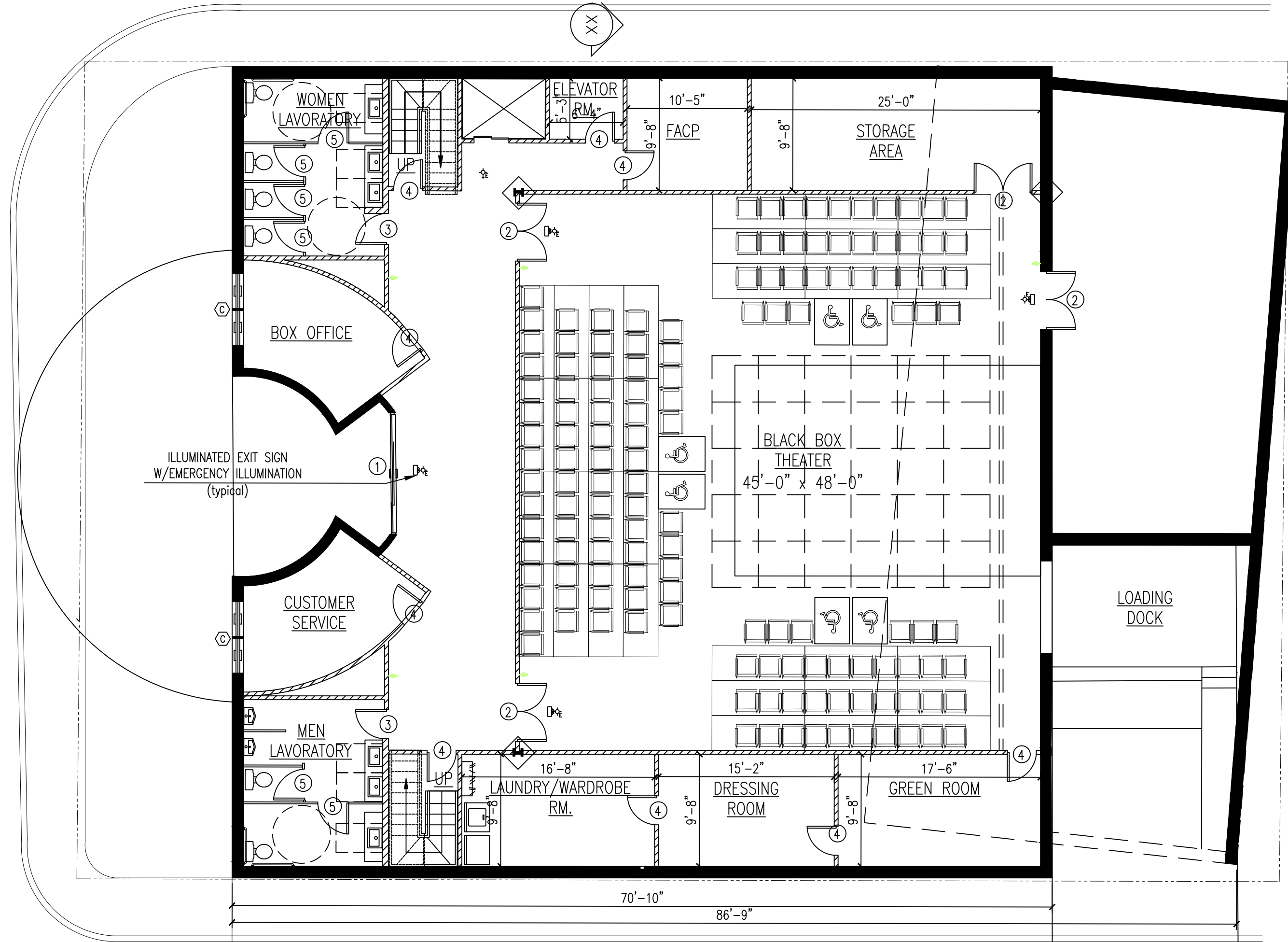
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17

S101



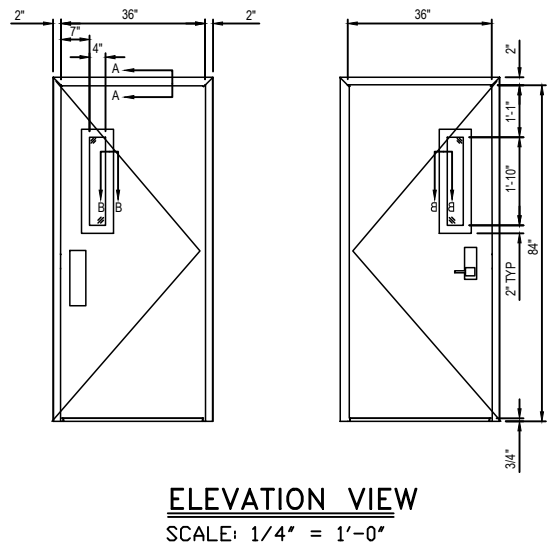
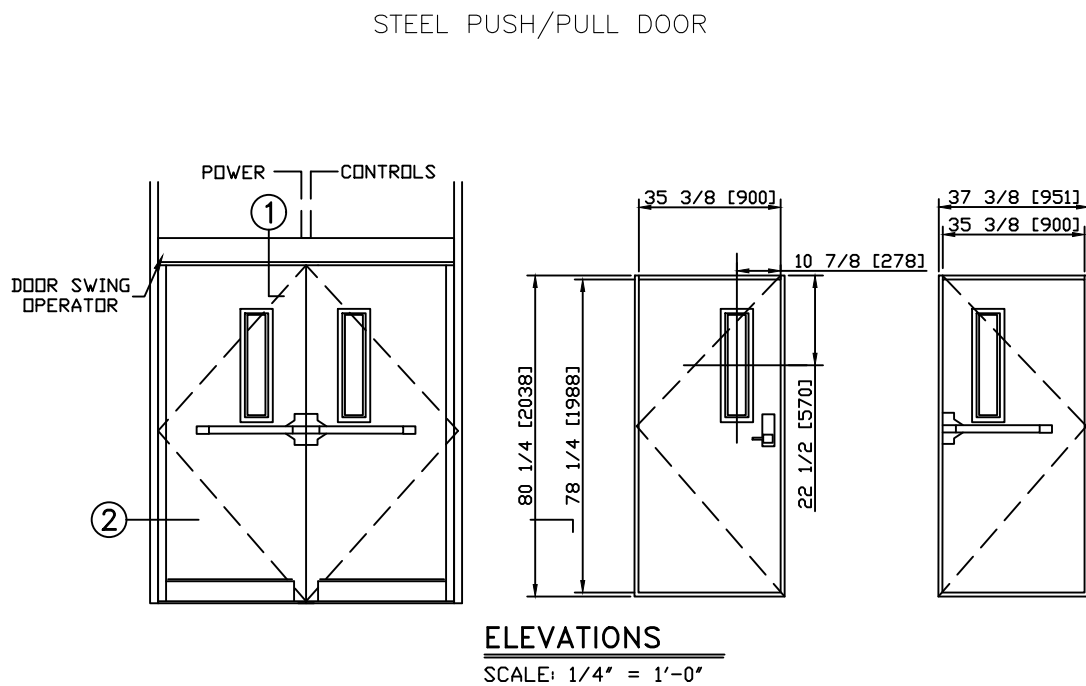
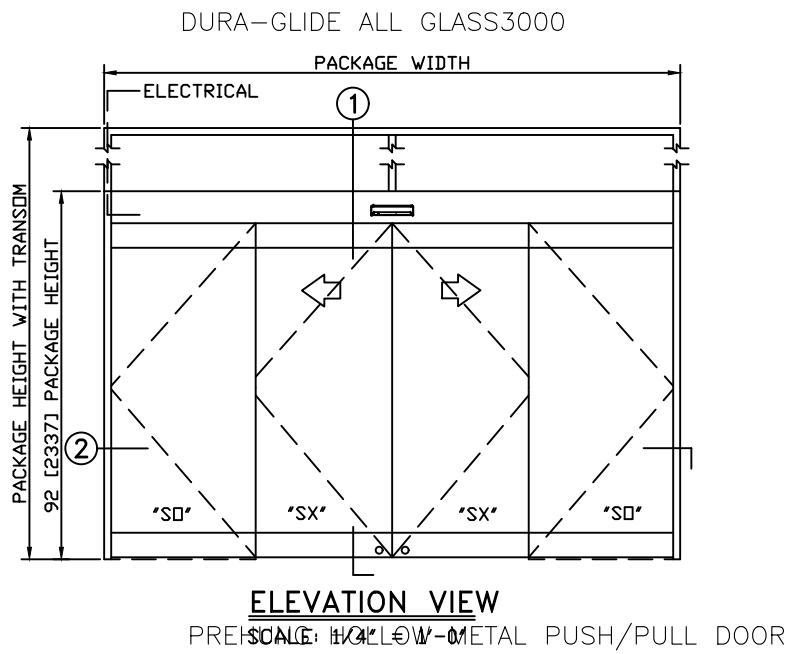
SECOND FLOOR PLAN  
SCALE: 1/8" = 1'-0"



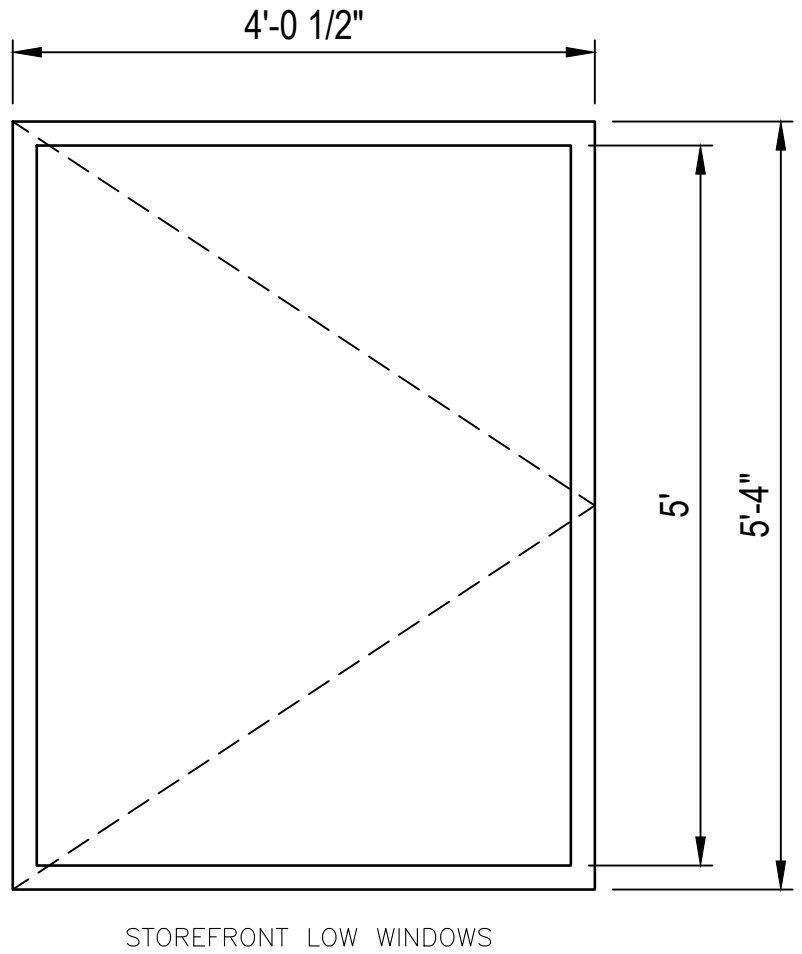
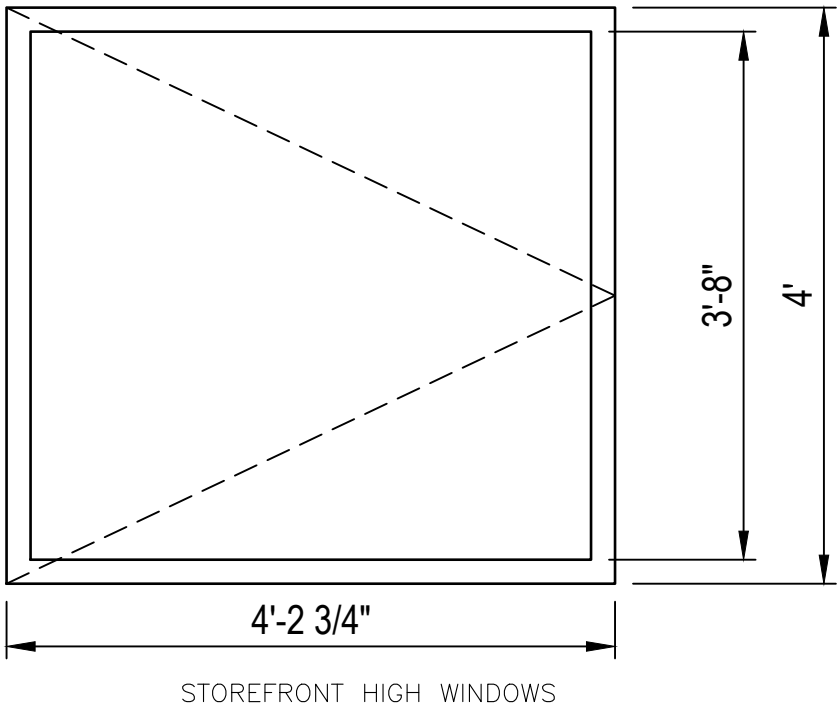
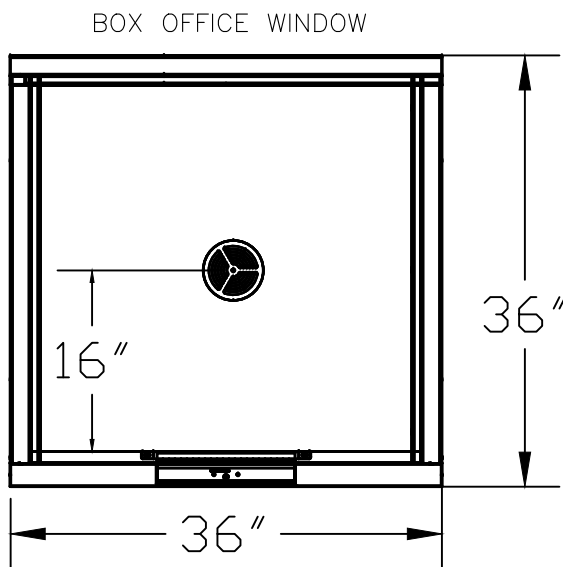
FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"

DOOR SCHEDULE		NOTE: ALL GLASS DOORS AND GLASS SIDELITES TO BE ANDERSON STORMWATCH IMPACT RESISTANT UNITS	
MARK	SIZE (NOMINAL)	TYPE	COMMENTS
①	5'-0" X 7'-8" X 1 3/4"	DURA-GLIDE ALL GLASS3000	with 1/2" Tempered with Polished Edges
②	5'-0" X 7'-0" X 1 3/4"	STEEL PUSH/PULL DOOR	with Low Energy/Knowing Act Swing Door Operator
③	2'-8" X 7'-0" X 1 3/8"	PREHUNG HOLLOW METAL PUSH/PULL DOOR	
④	2'-6" X 6'-8" X 1 3/4"	STEEL PULL DOOR	with Low Energy/Knowing Act Swing Door Operator
⑤	2'-8" X 6'-8" X 1 3/8"	STEEL RAISED SWING	
WINDOW SCHEDULE		NOTE: ALL WINDOWS TO BE ANDERSON STORM WATCH IMPACT RESISTANT UNITS	
MARK	SIZE (NOMINAL)	TYPE	COMMENTS
A	4'-0" X 5'-0"	STOREFRONT LOW WINDOWS	U = .32
B	4'-0" X 4'-0"	STOREFRONT HIGH WINDOWS	U = .32
C	3'-0" X 3'-0"	BOX OFFICE WINDOW	U = .32

DOOR SCHEDULE ELEVATIONS:



WINDOW SCHEDULE ELEVATIONS:



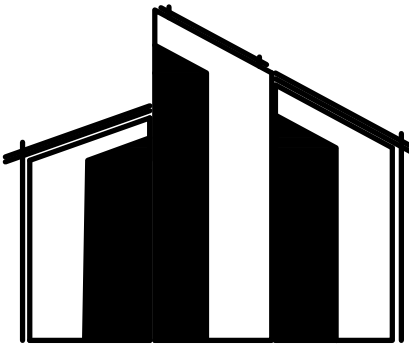
ELEVATION VIEW  
SCALE: 3/4" = 1'-0"

General Notes

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ⓧ INDICATES DOOR  
(SEE DOOR SCHEDULE)

ⓧ INDICATES WINDOWS  
(SEE WINDOW SCHEDULE)



Camps  
Architects

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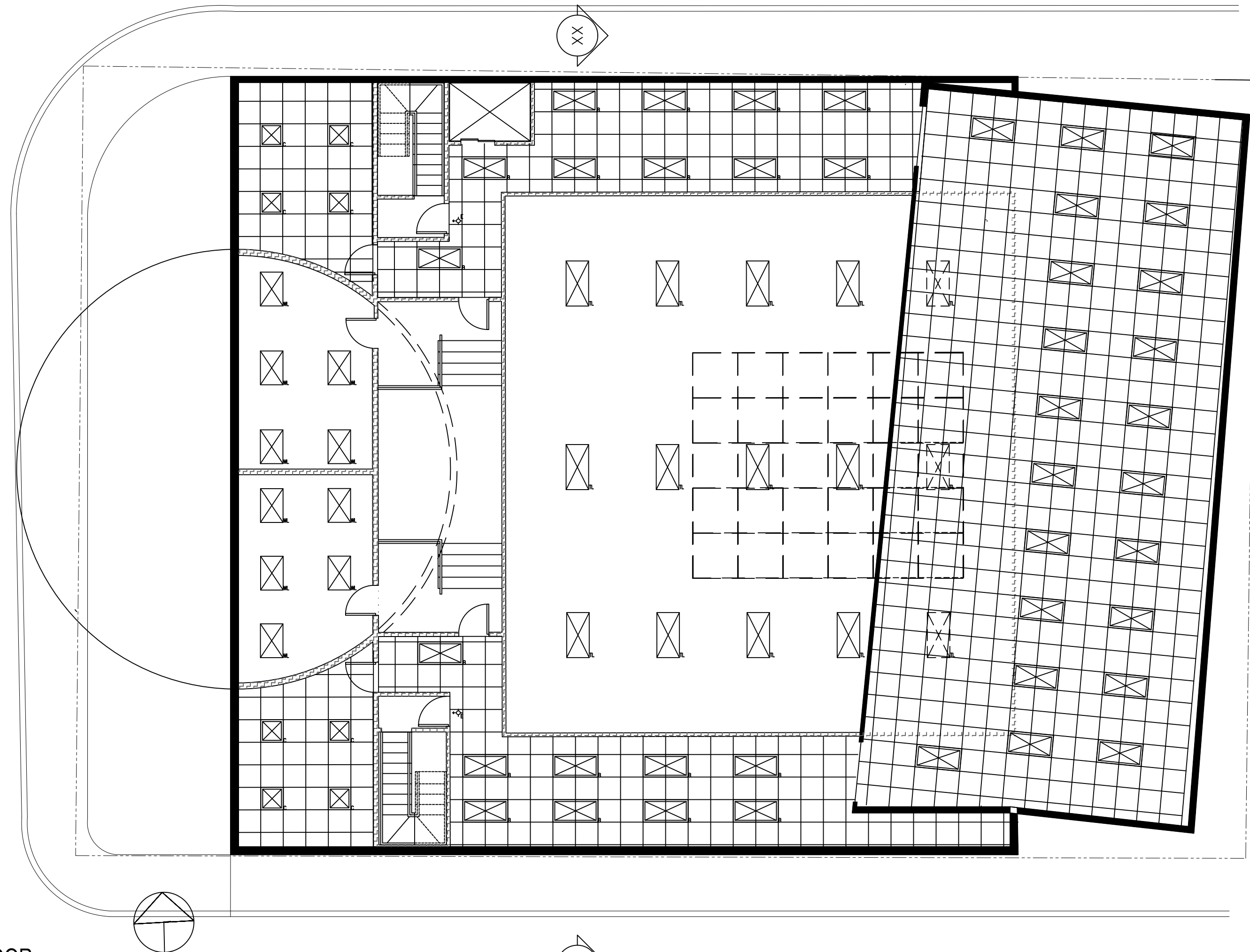
DRAWN BY: S.C  
DATE: 19MAY2025  
SCALE 1/4" = 1'-0"

FIRST & SECOND  
FLOOR PLANS

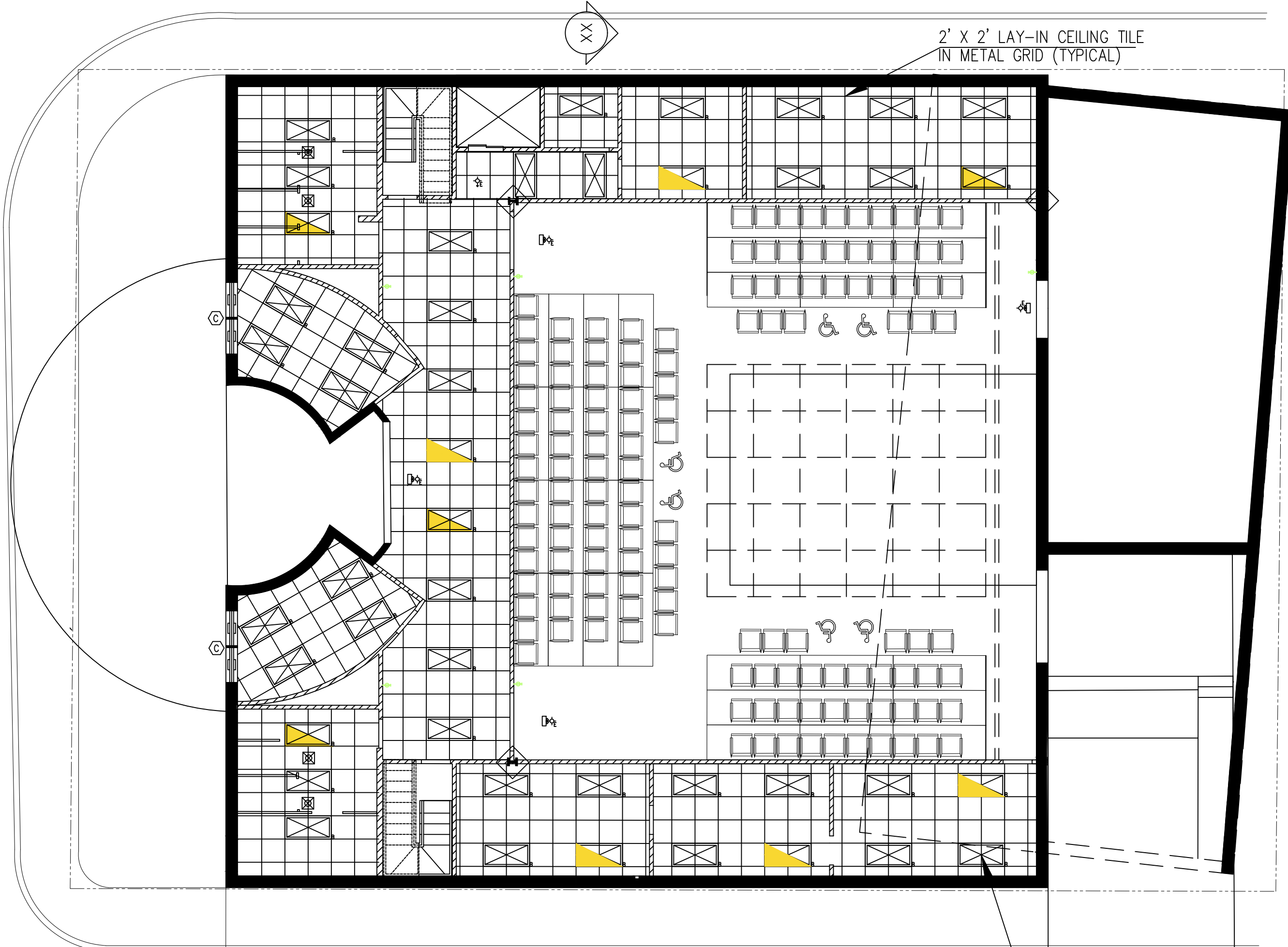
Project Section 49  
Block 001  
Lot # : 17

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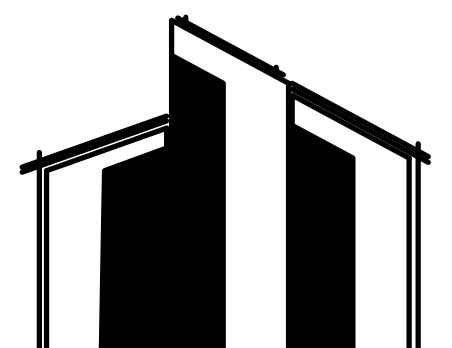
SECOND FLOOR  
SCALE: 1/8" = 1'-0"



FIRST FLOOR  
SCALE: 1/8" = 1'-0"

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Architects**

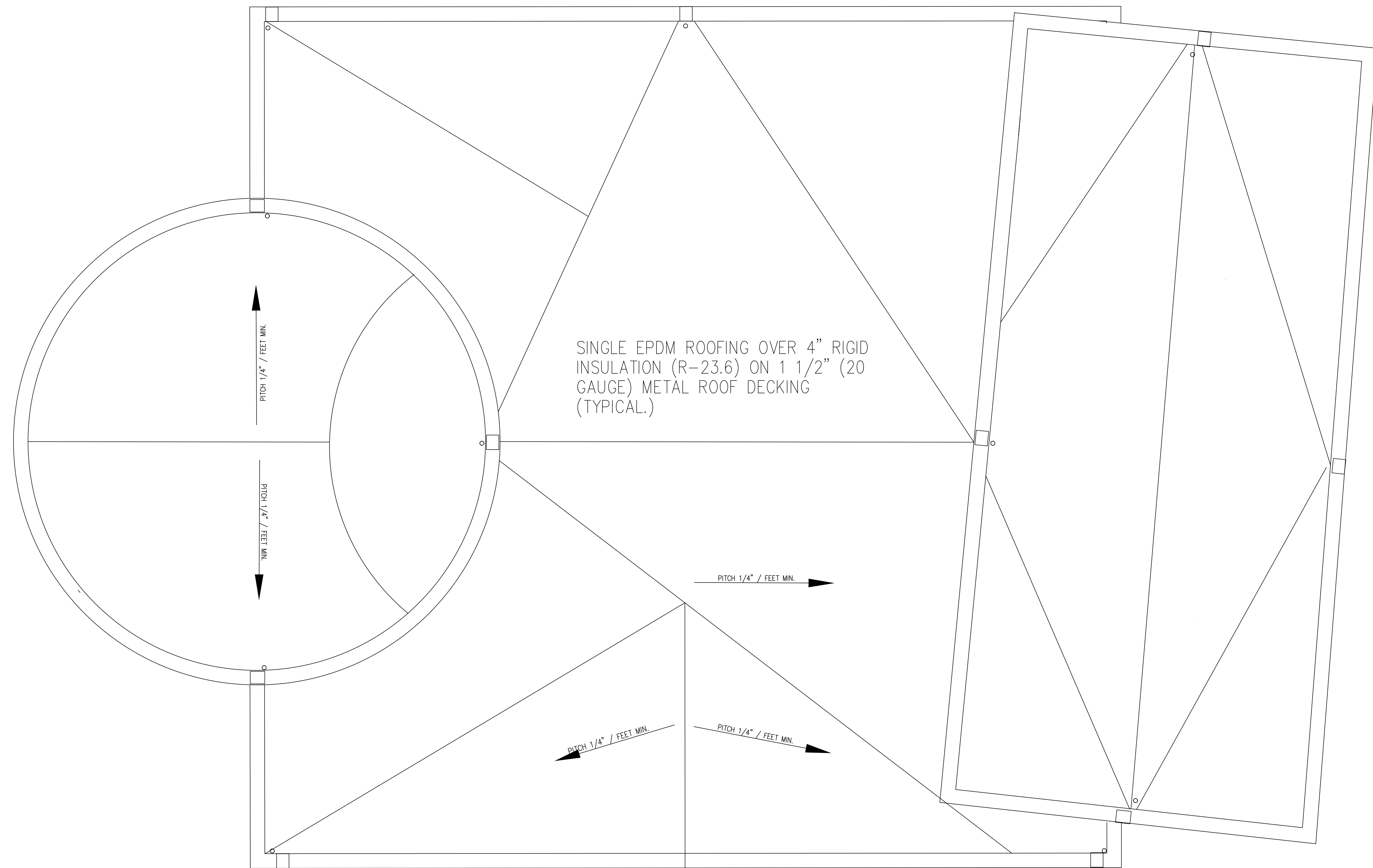
PROJECT ADDRESS:  
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DRAWN BY: S.C  
DATE: 19MAY2025  
SCALE 1/4" = 1'- 0"

REFLECTED CEILING  
PLAN

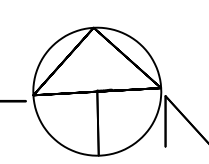
Project Section	49
Block	001
Lot # :	17

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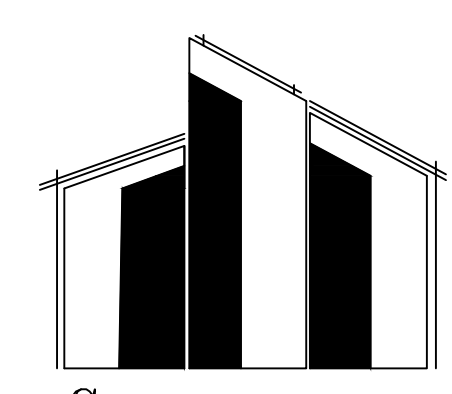
SINGLE EPDM ROOFING OVER 4" RIGID  
INSULATION (R-23.6) ON 1 1/2" (20  
GAUGE) METAL ROOF DECKING  
(TYPICAL.)

ROOF PLAN  
SCALE: 1/4" = 1'-0"



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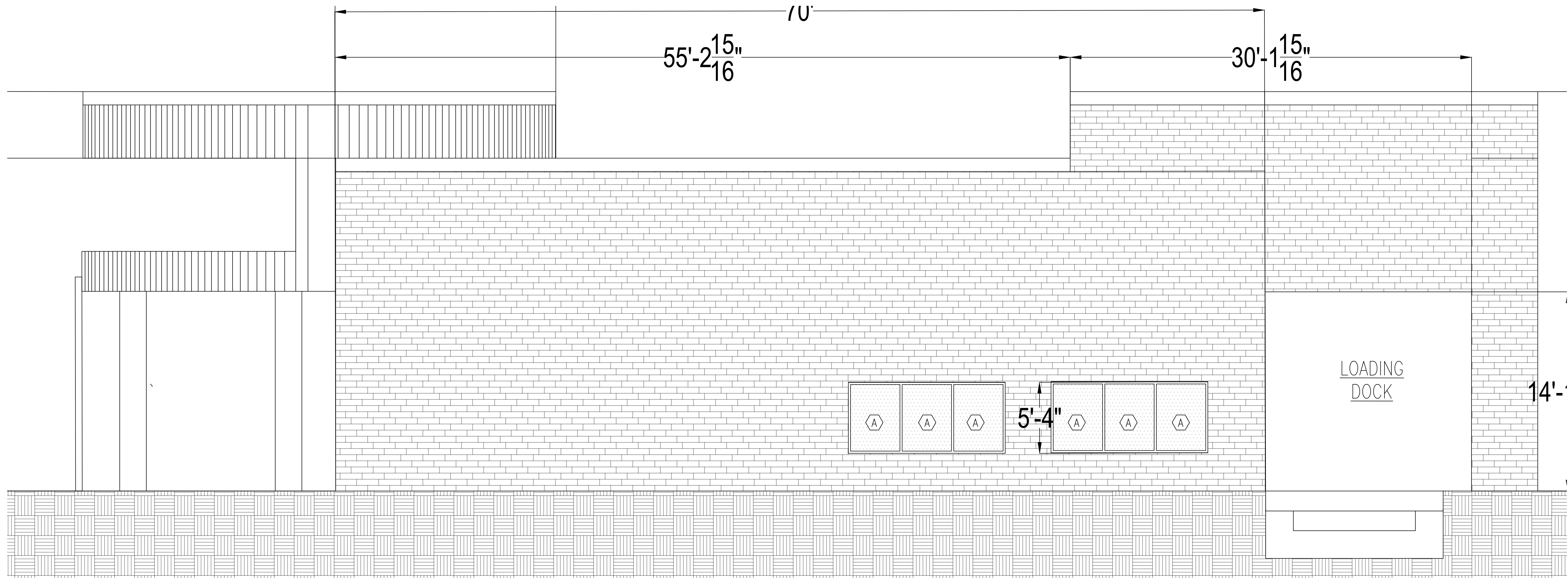
DRAWN BY: S.C  
DATE: 19MAY2025  
SCALE 1/4" = 1'- 0"

ROOF PLAN

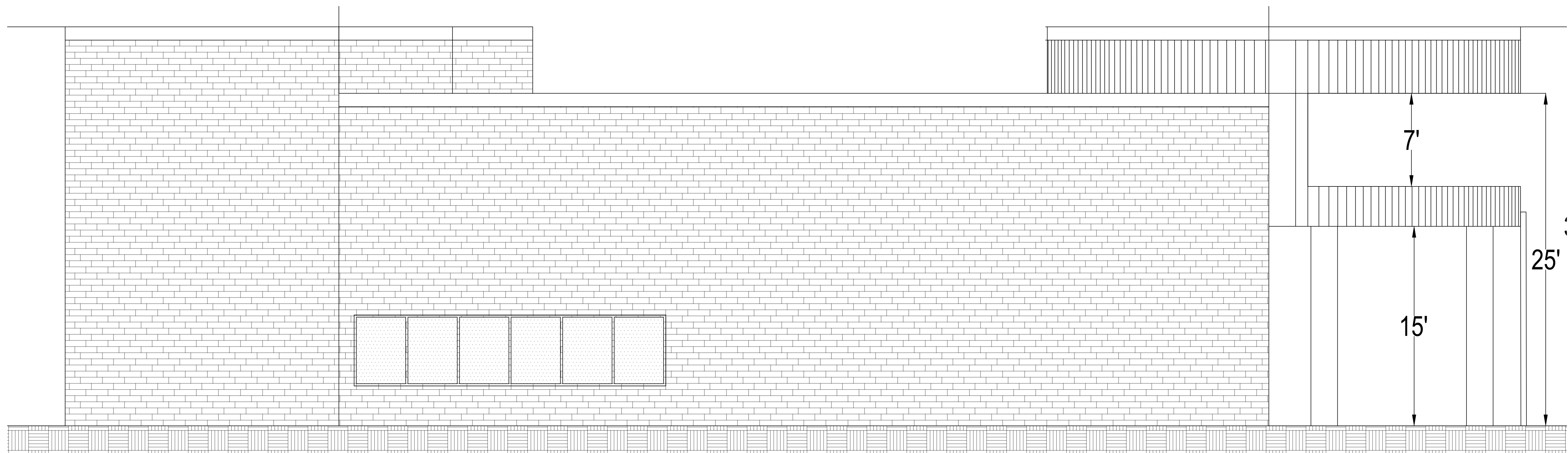
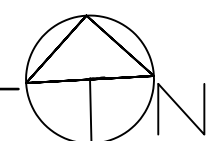
Project Section	49
Block	001
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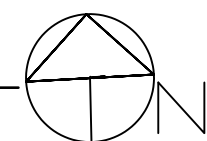




NORTH ELEVATION  
SCALE: 1/4" = 1'-0"

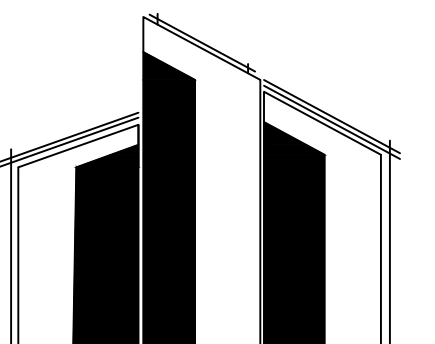


SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



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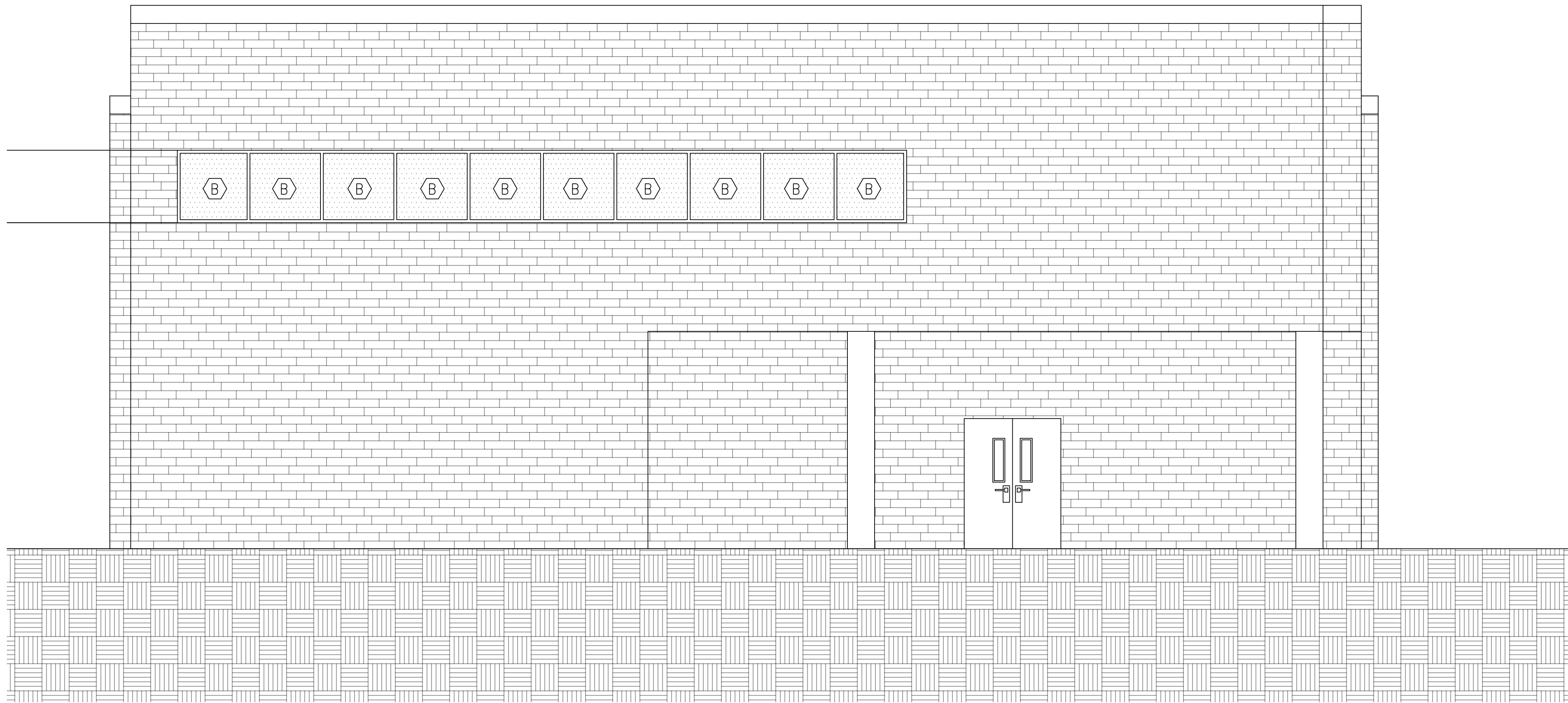
DRAWN BY: S.C  
DATE: 19MAY2025  
SCALE: AS NOTED

ELEVATIONS

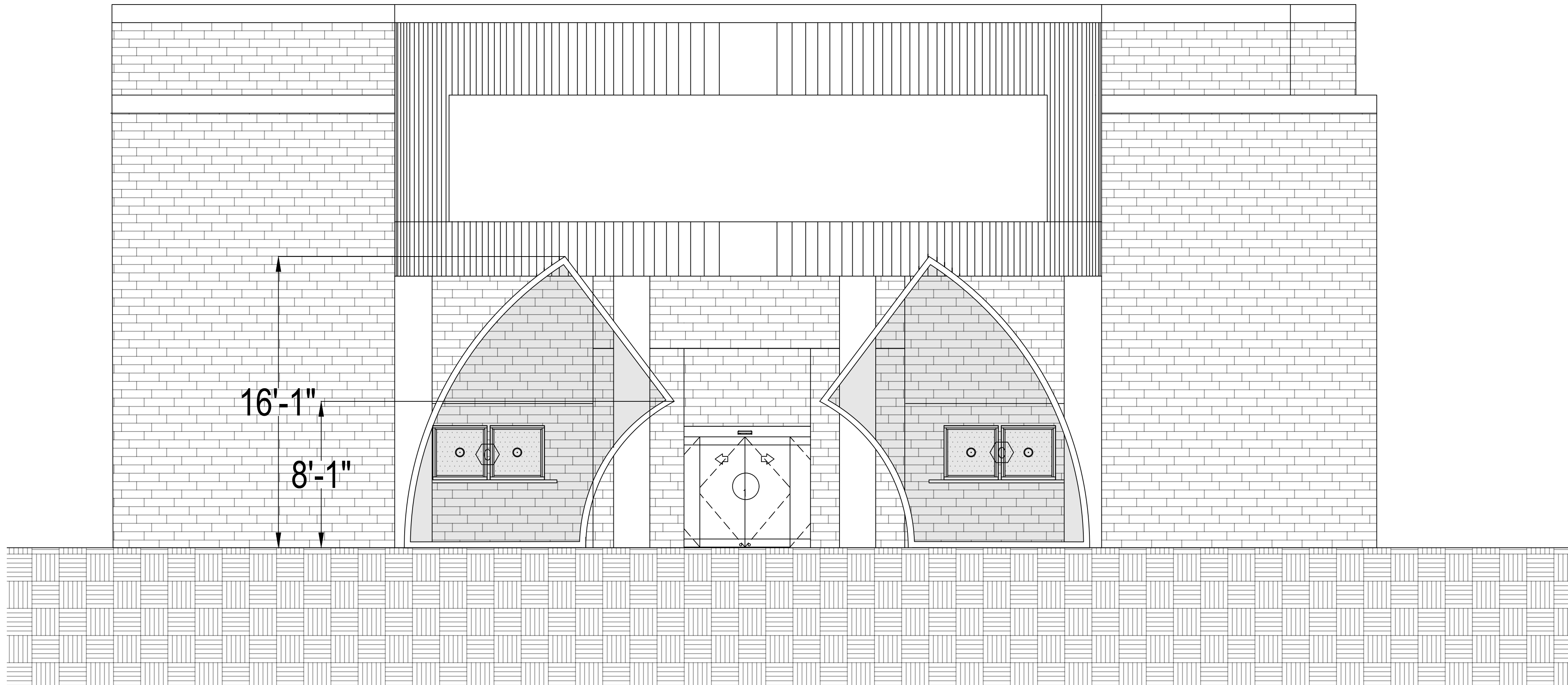
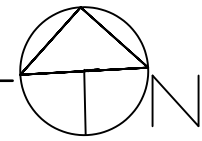
Project Section 49  
Block 001  
Lot # : 17

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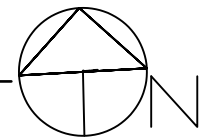




EAST ELEVATION  
SCALE: 1/4" = 1'-0"

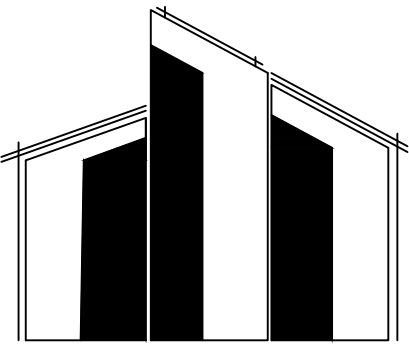


WEST ELEVATION  
SCALE: 1/4" = 1'-0"



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DATE: 19MAY2025  
SCALE: AS NOTED

ELEVATIONS

Project Section

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Block

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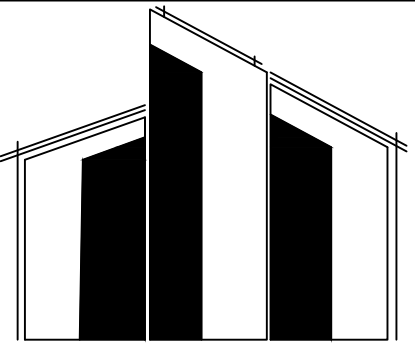
Lot # :

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Camps  
Architects

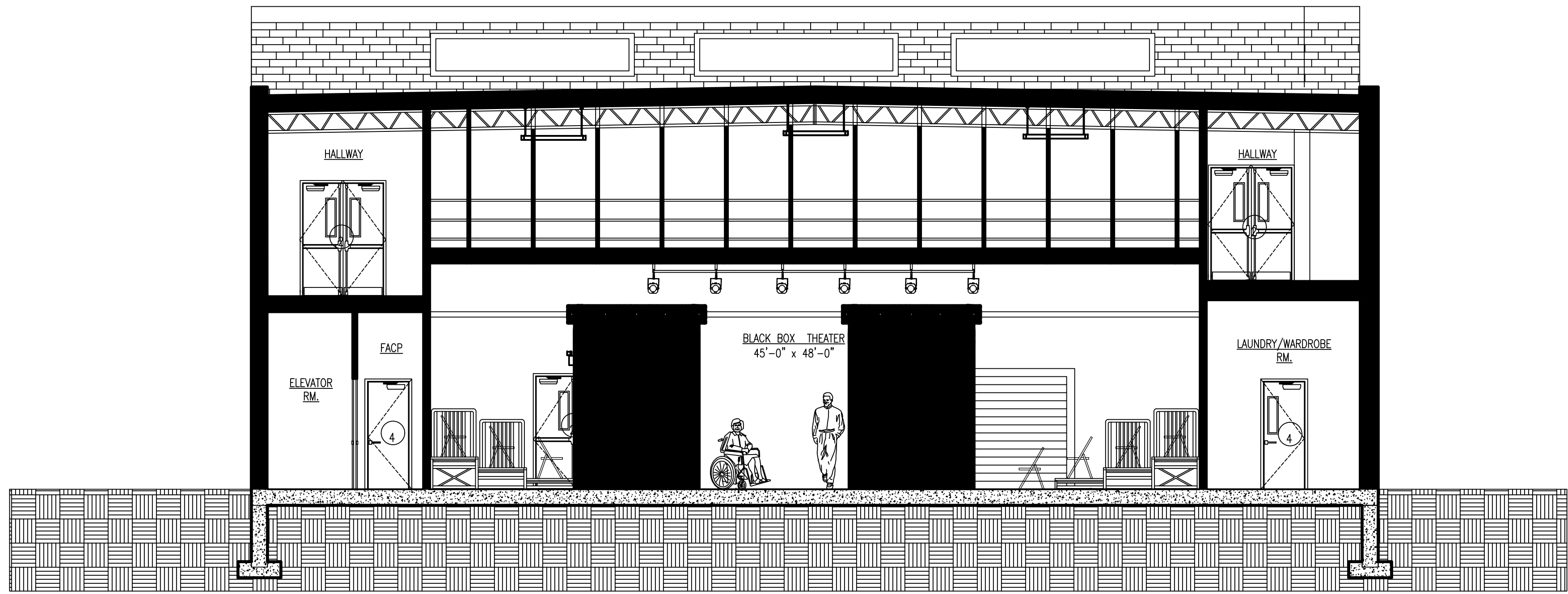
PROJECT ADDRESS:  
141 DIVISION ST.  
FARMINGDALE NY, 11735

DRAWN BY: S.C  
DATE: 19MAY2025  
SCALE 3/16" = 1'- 0"

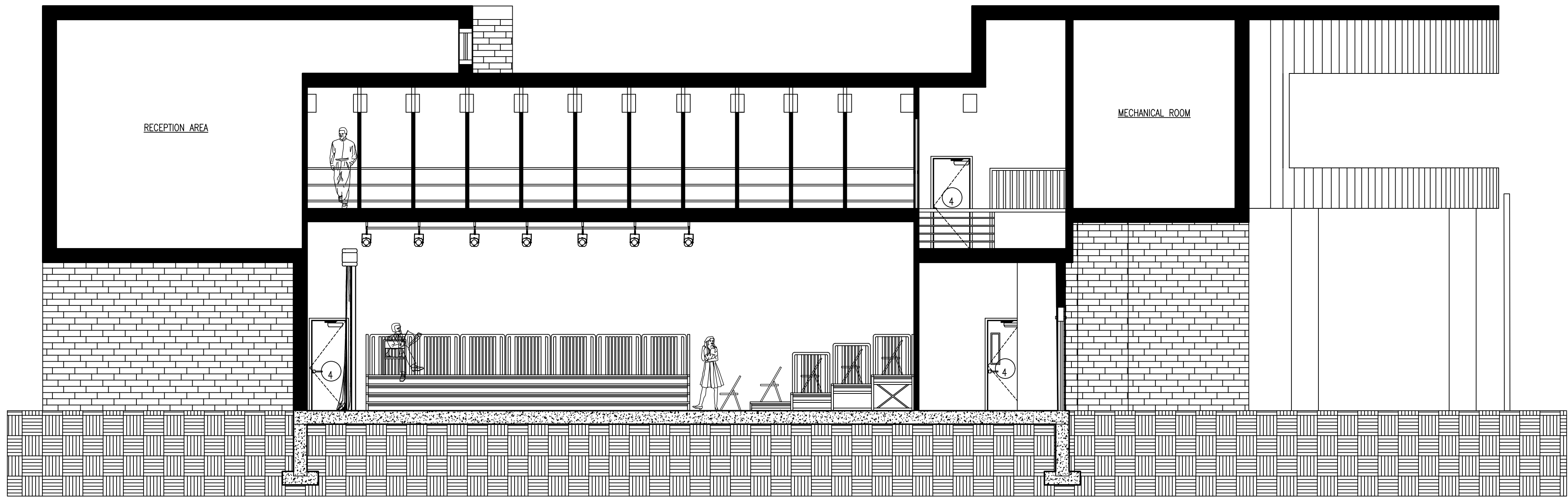
SECTIONS

Project Section	49
Block	001
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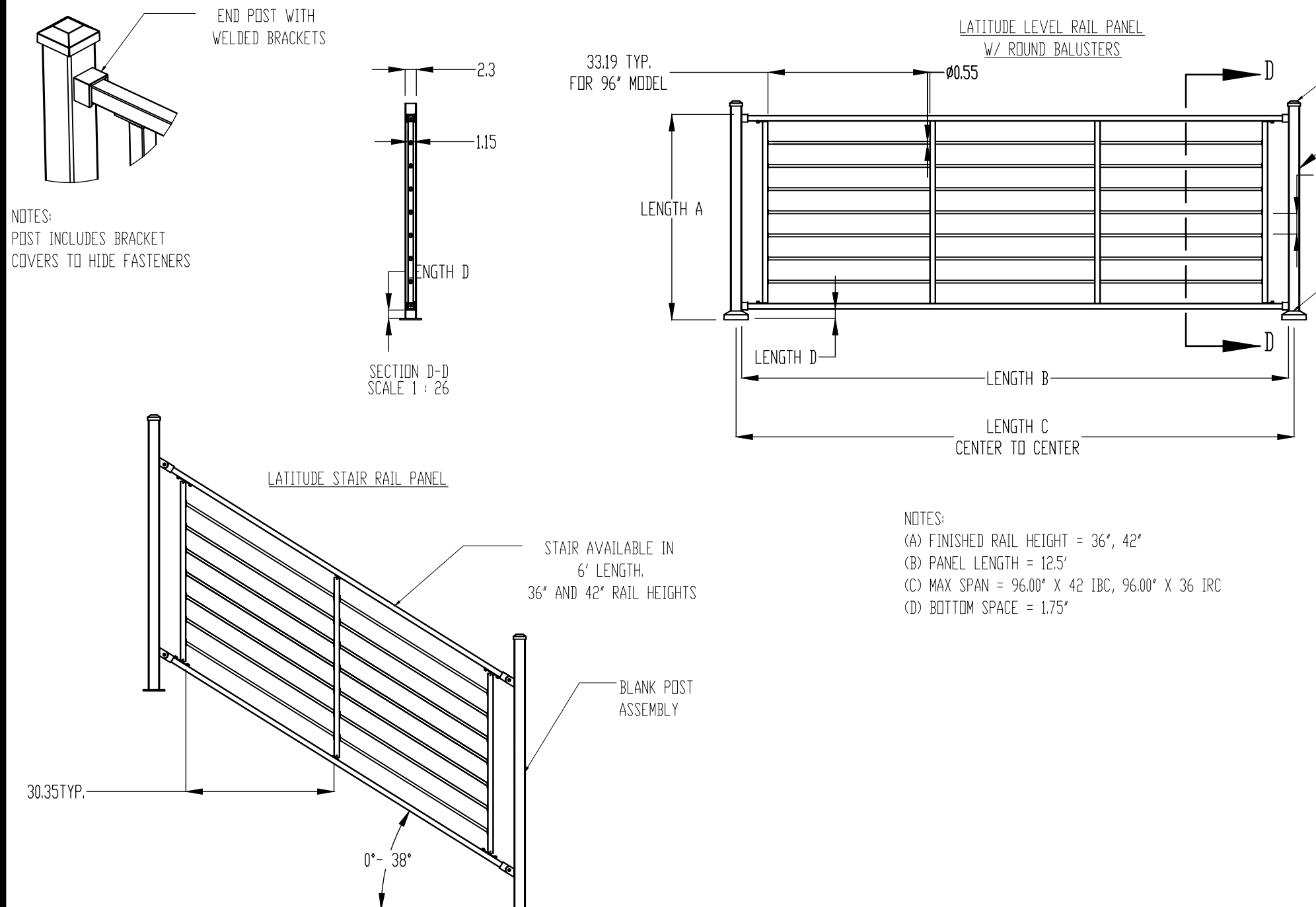
WEST SECTION  
SCALE: 1/4" = 1'- 0"



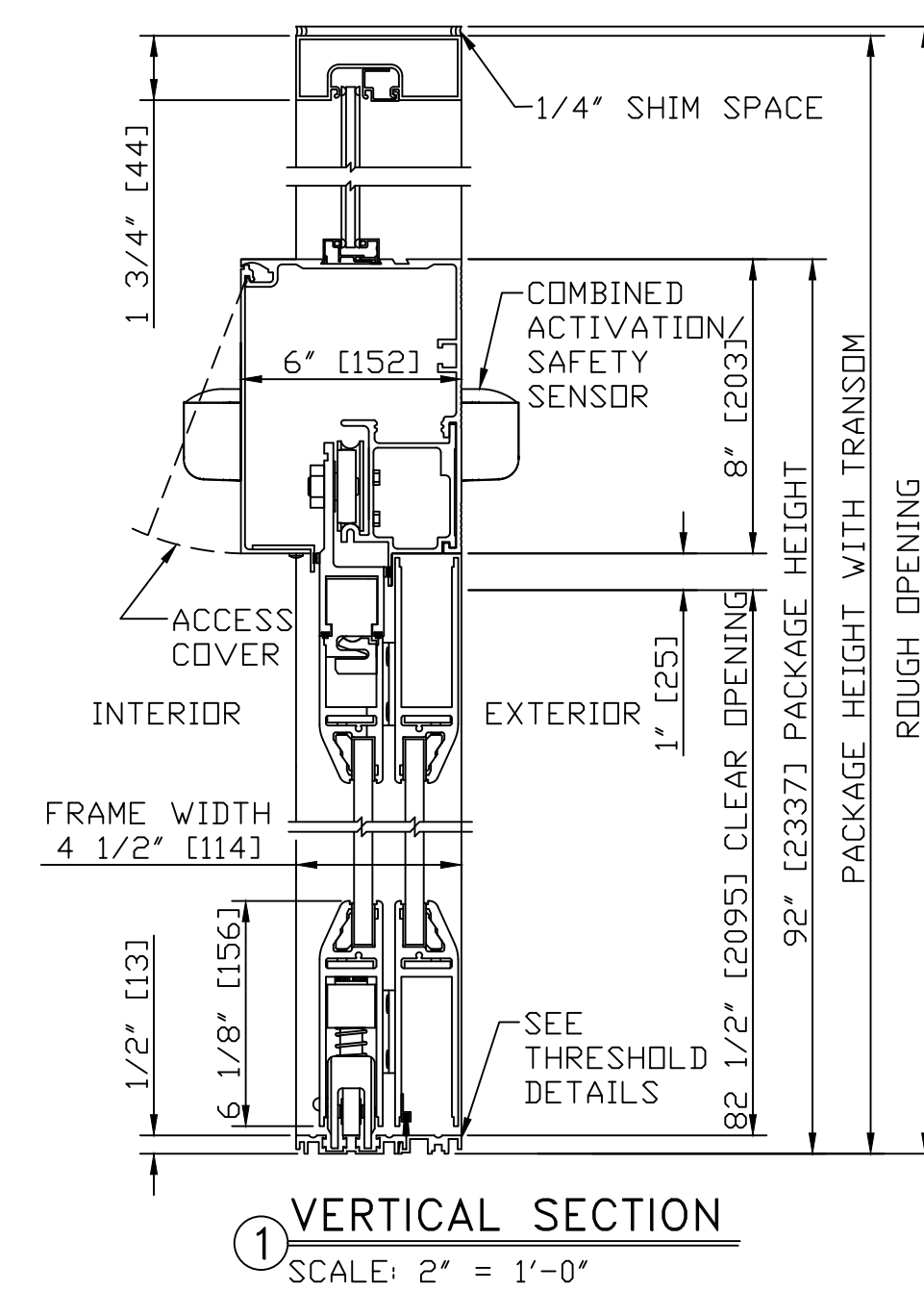
SOUTH SECTION  
SCALE: 1/4" = 1'- 0"



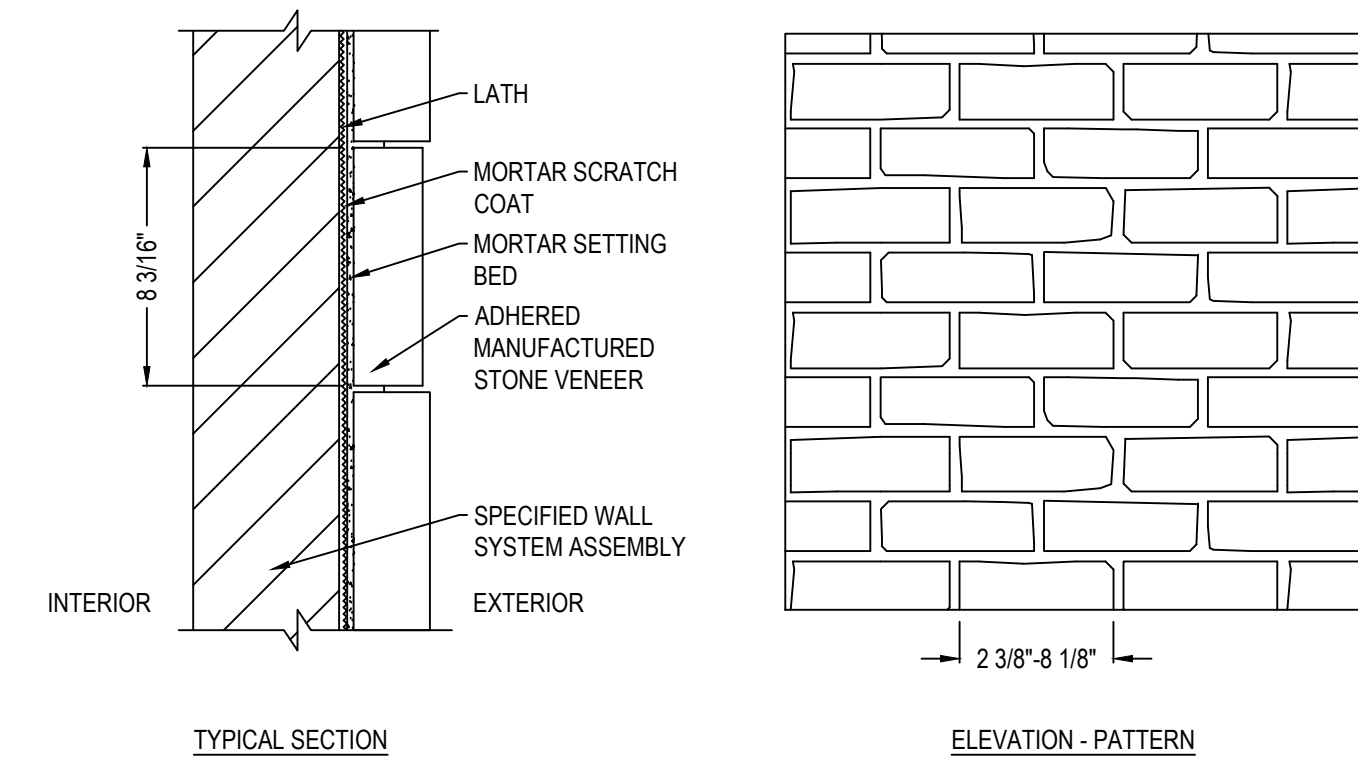
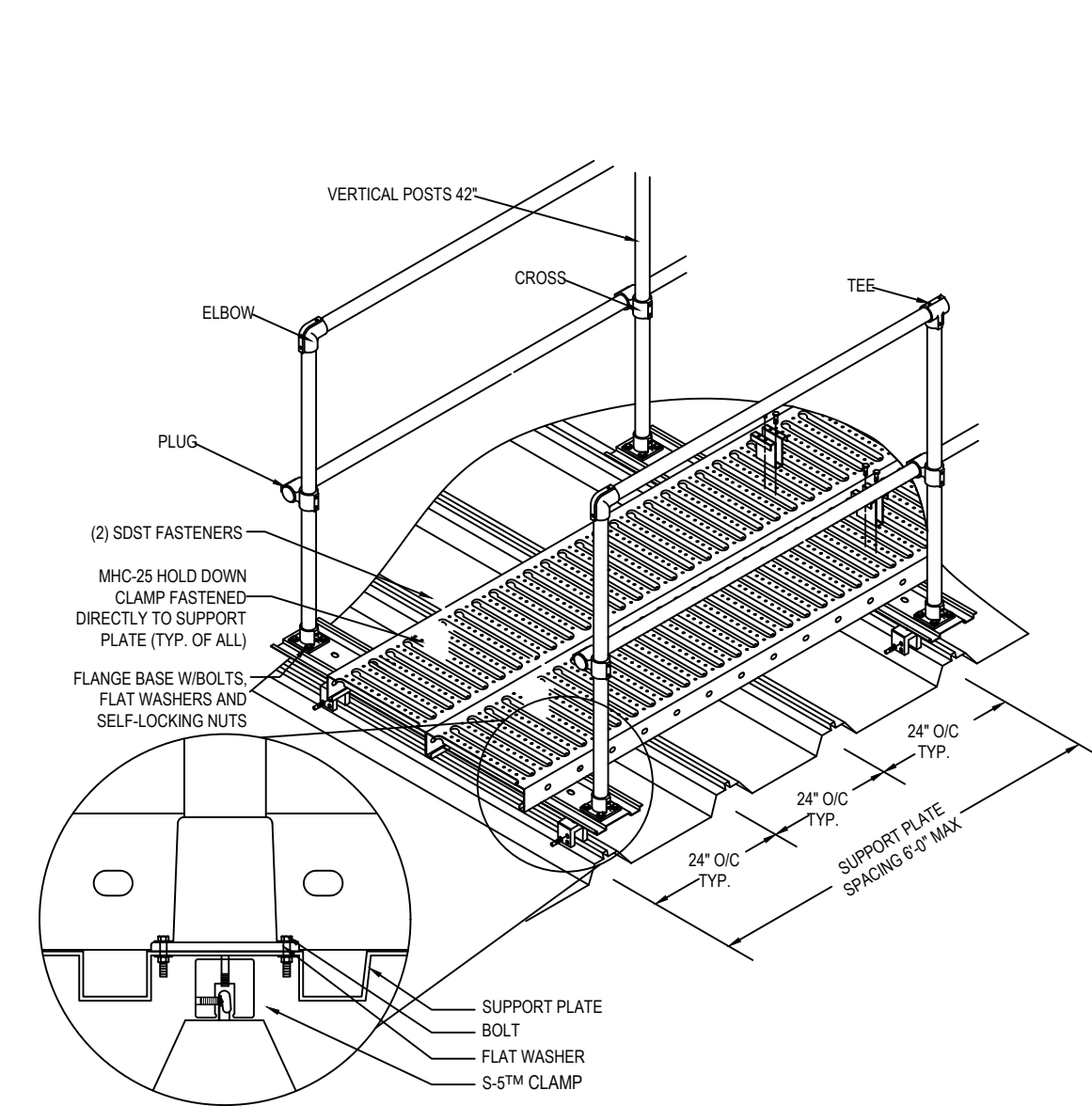
## LATITUDE LEVEL AND STAIR RAIL DETAILS



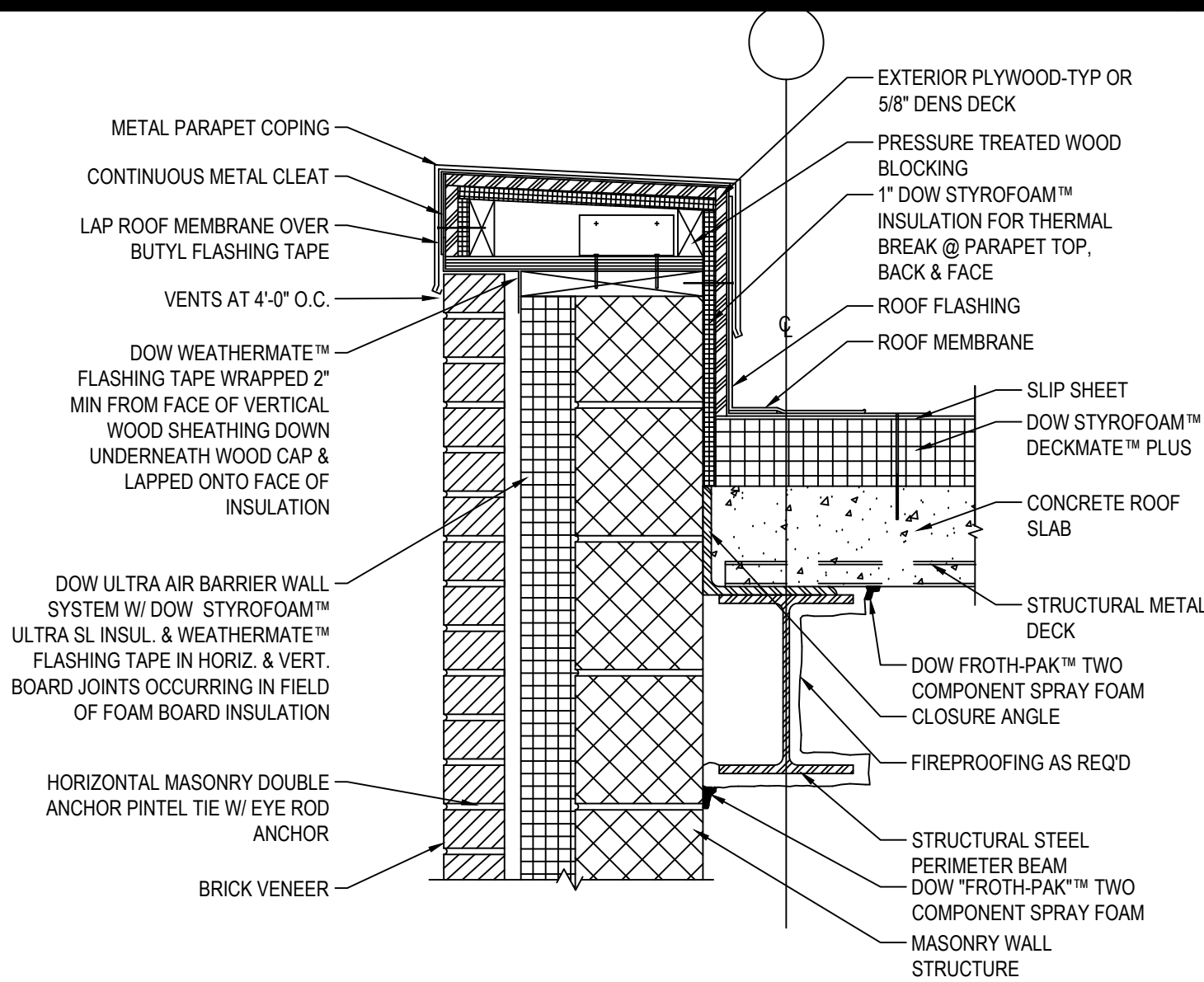
## SLIDING DOOR SECTION DETAIL



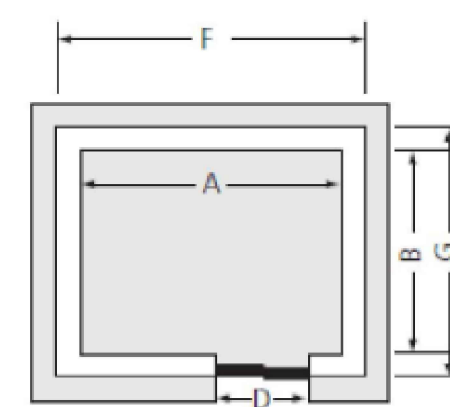
## METAL CATWALK DETAIL



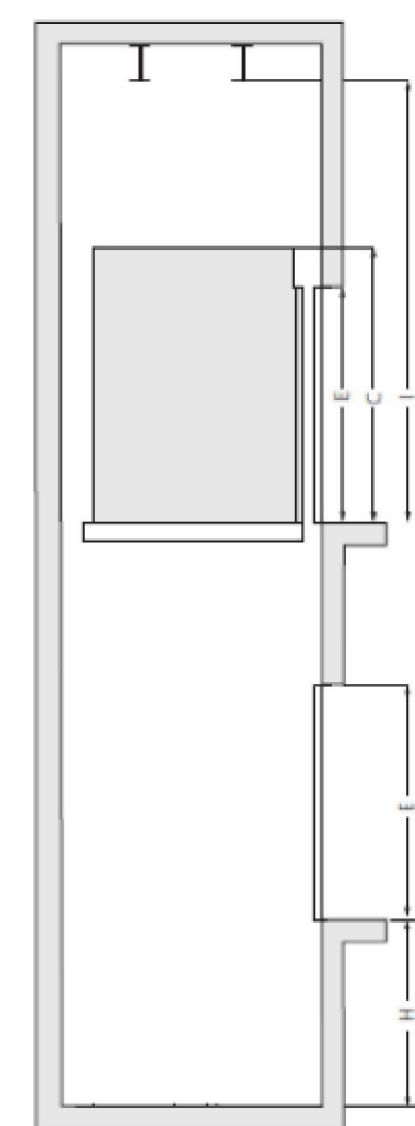
SPECIFICATIONS:  
MORTAR JOINT SIZE: 1/2"  
CORNER RETURNS: 3/4", 3 5/8", 8 1/4"



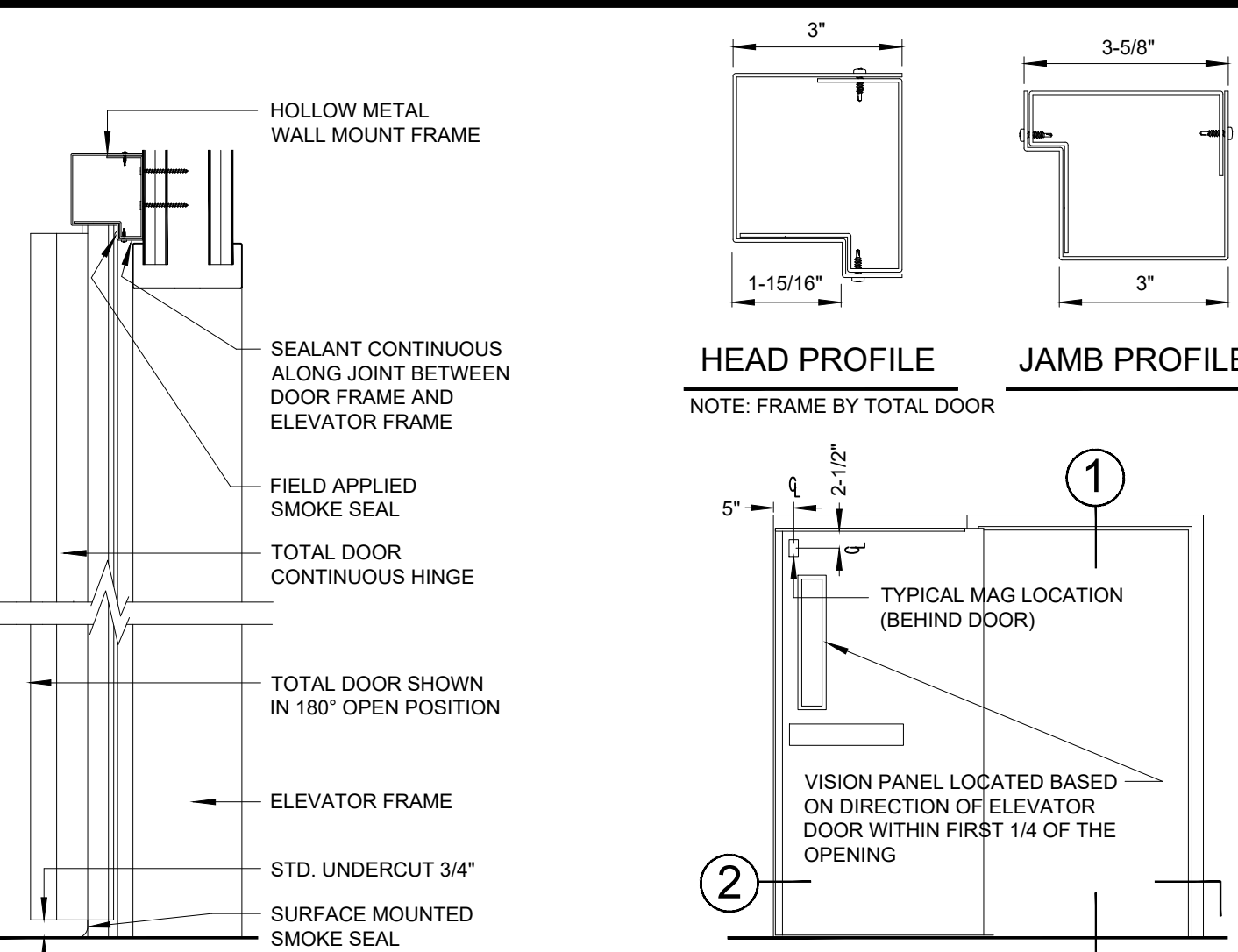
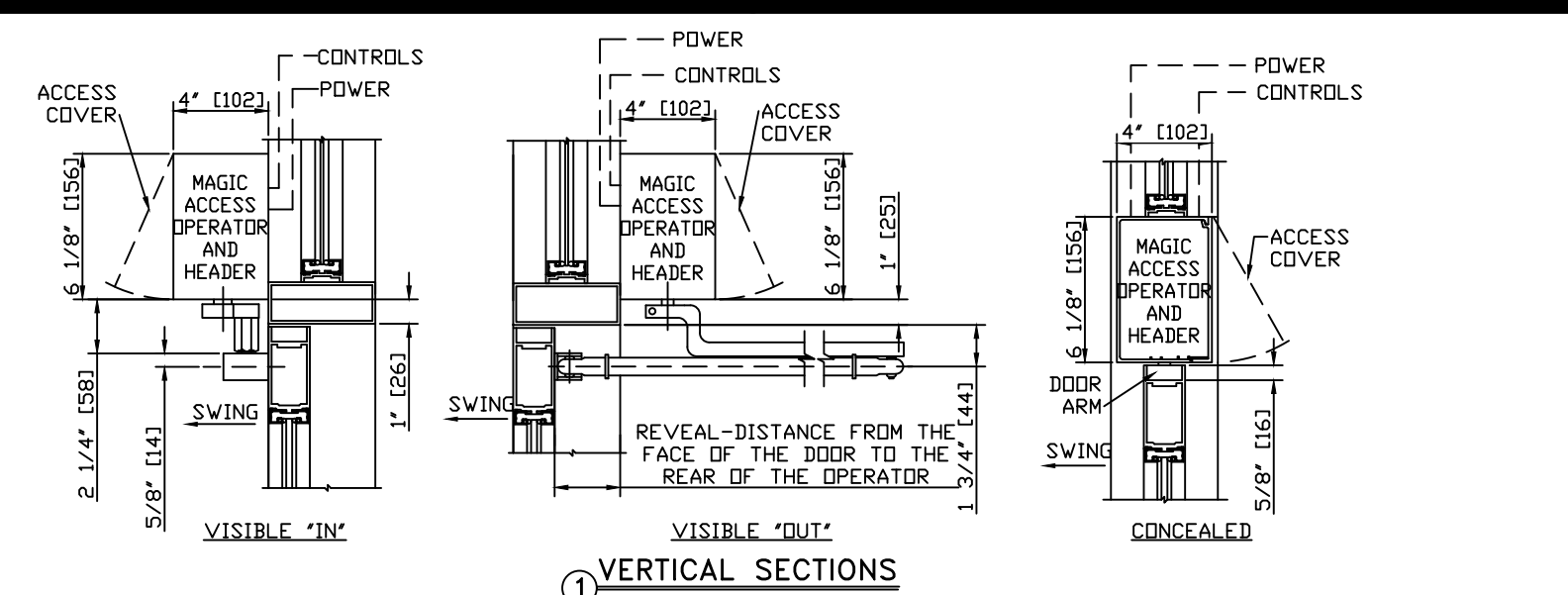
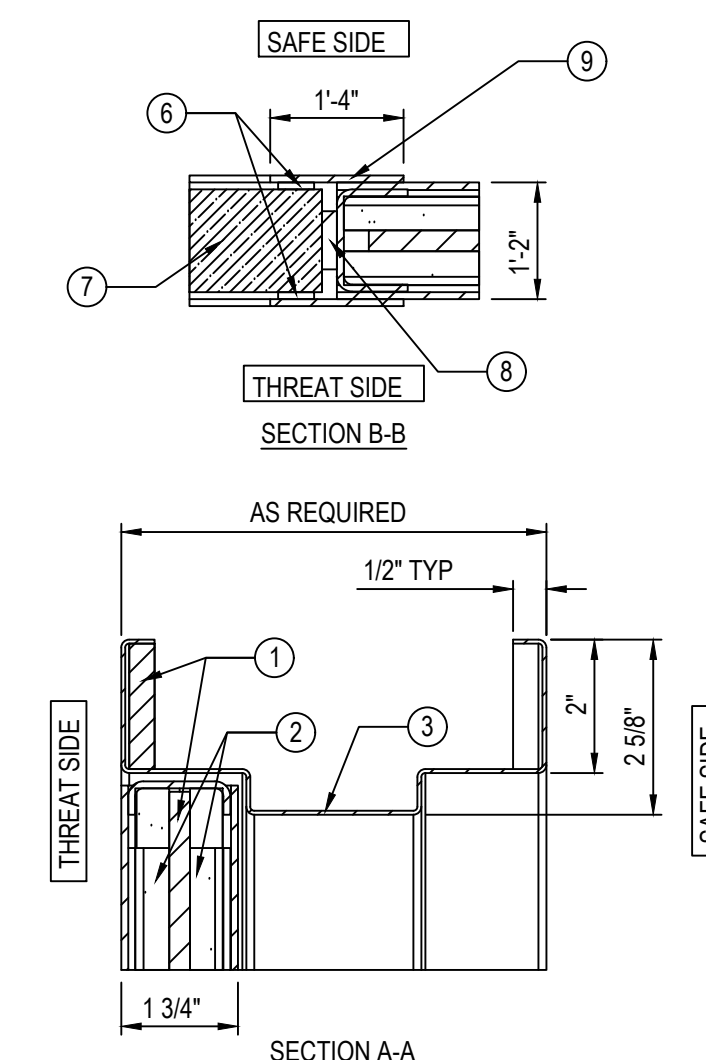
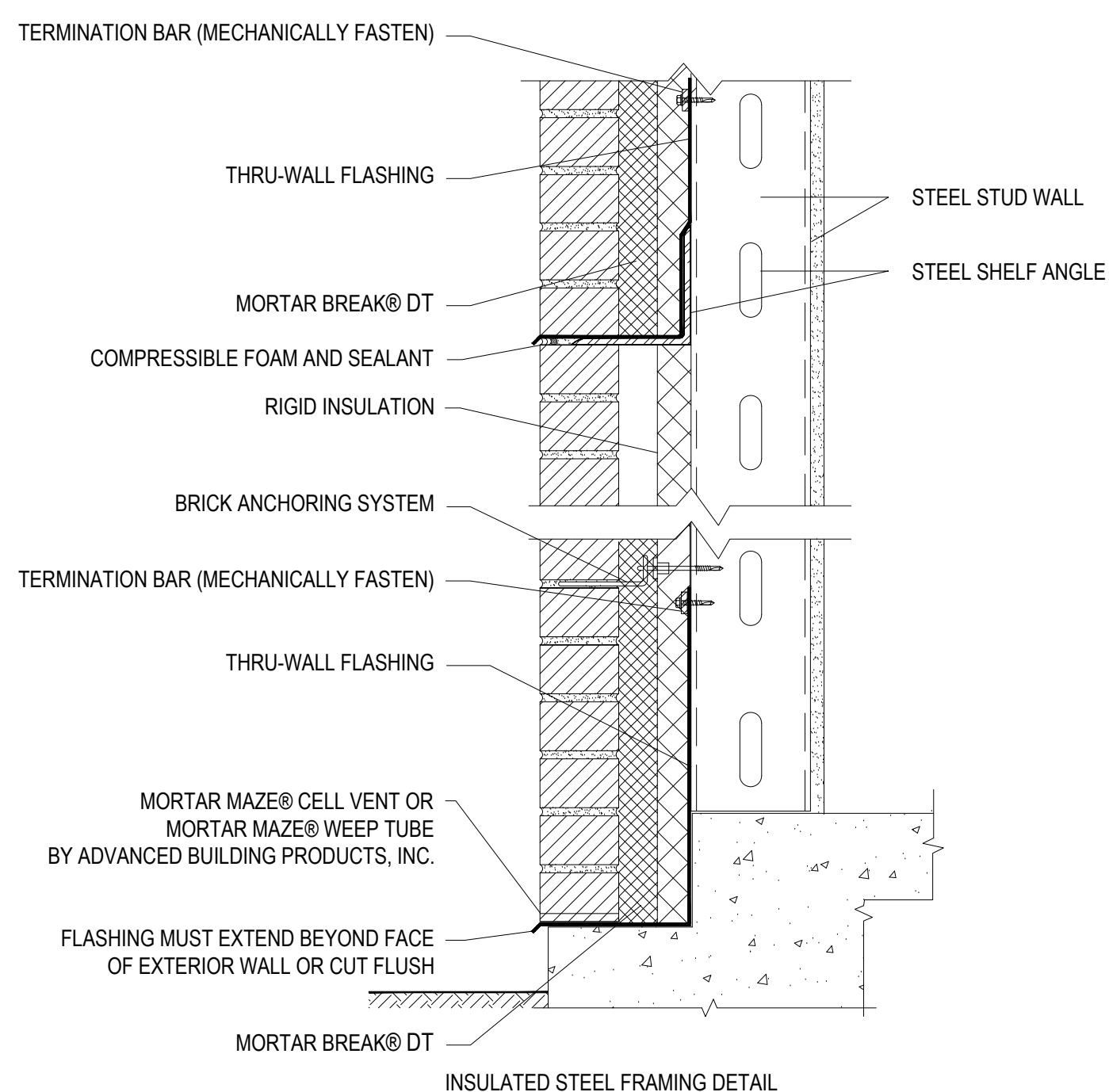
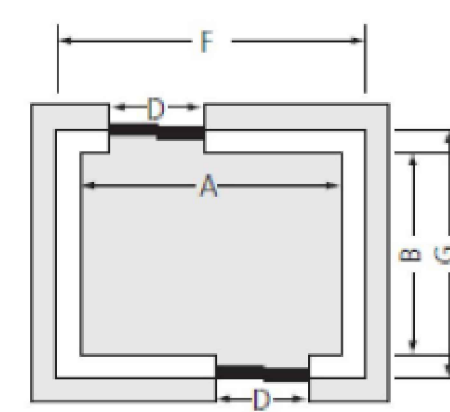
Plan View:  
Single entrance with 2550 (shown)



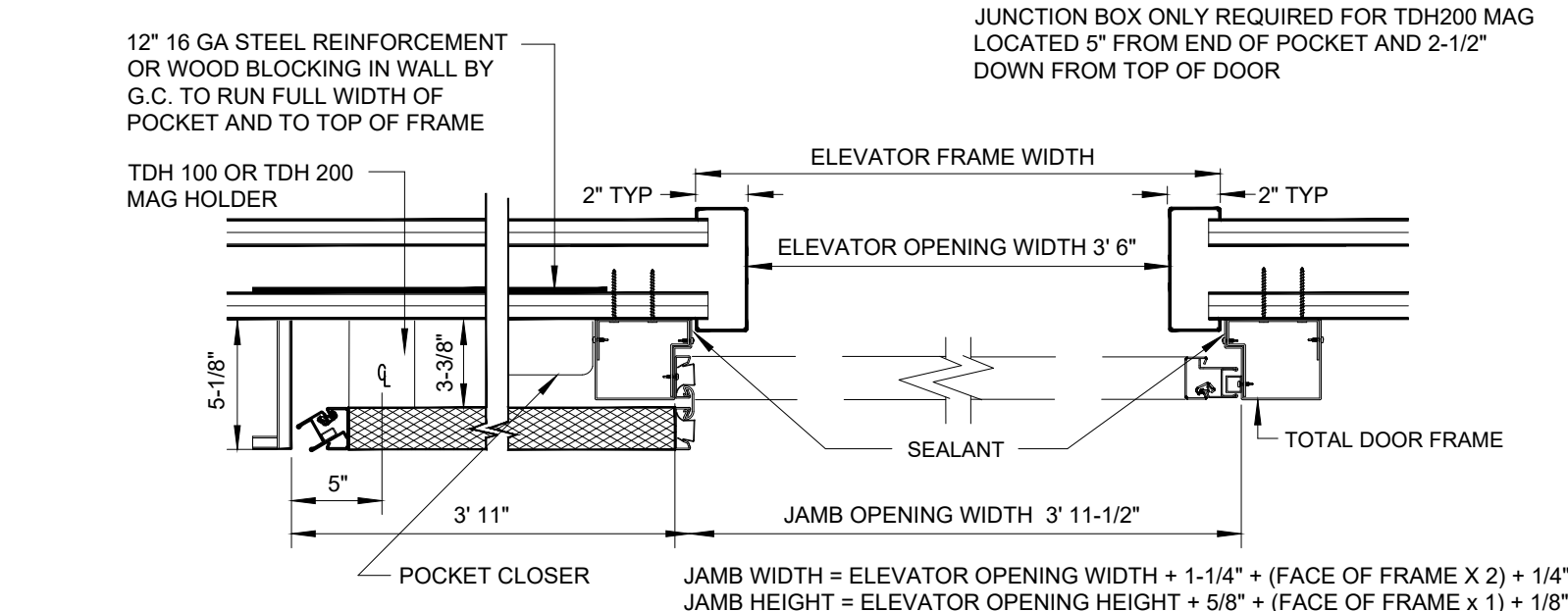
Vertical Section:  
Single entrance (shown)



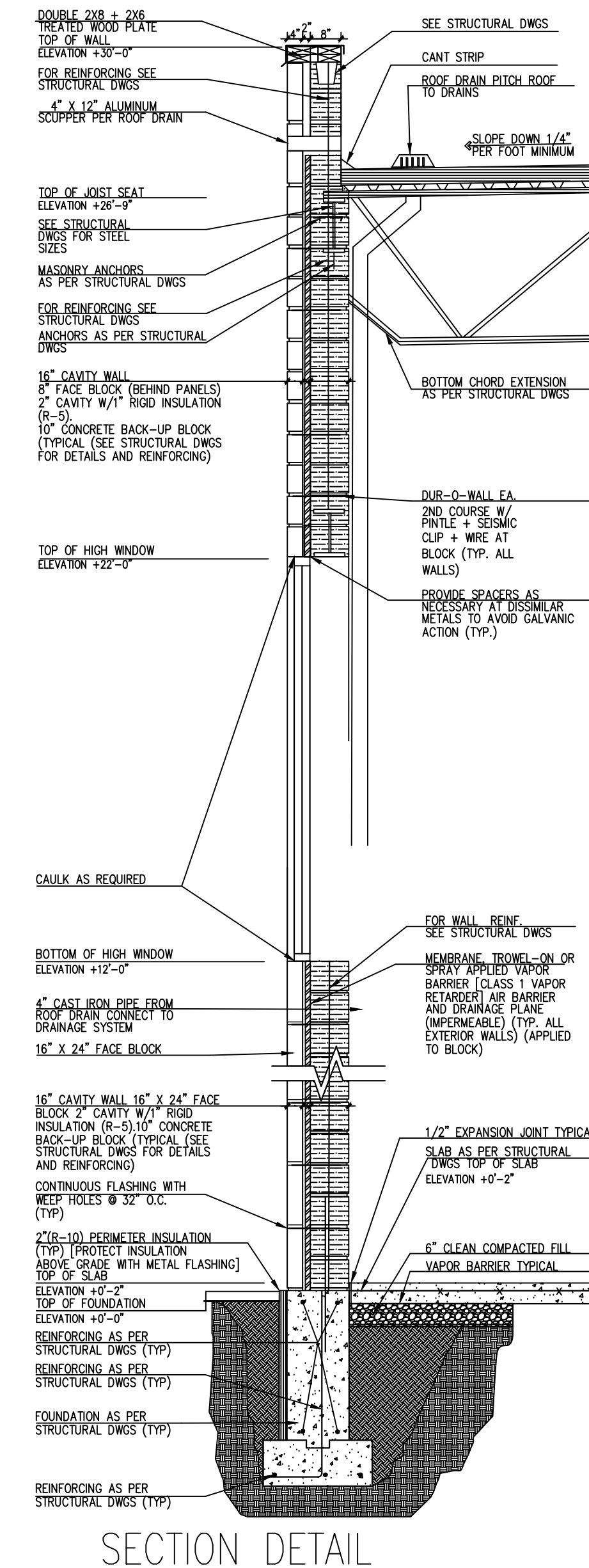
Plan View:  
Front and rear entrance with 2550 (shown)



1 VERTICAL SECTION  
NOT TO SCALE



2 HORIZONTAL SECTION  
NOT TO SCALE



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DRAWN BY: S.C  
DATE: 19MAY2025  
SCALE: NOT TO SCALE

DETAILS

Project Section 49  
Block 001  
Lot #: 17

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