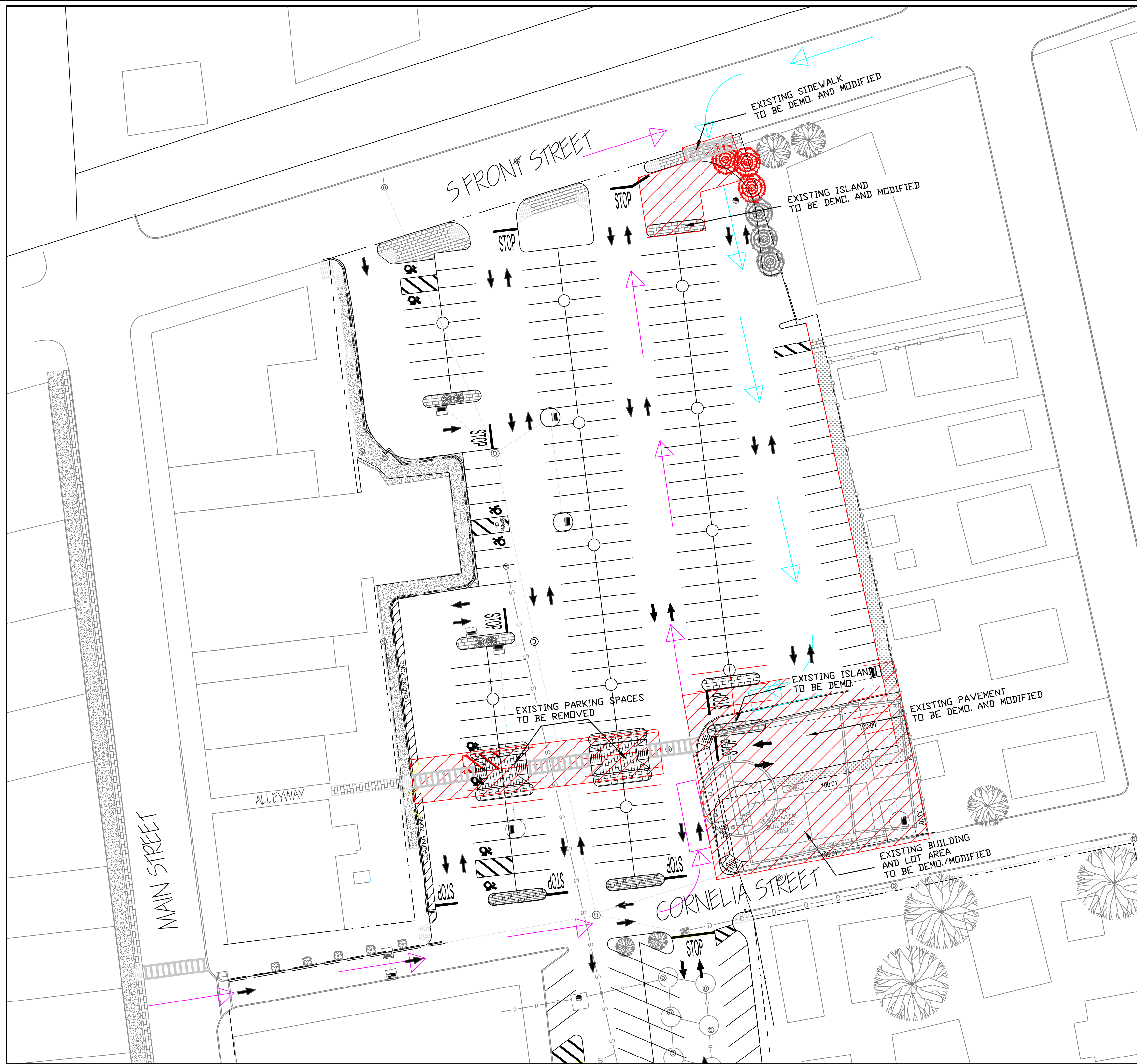


STEPHANIE CAMPOS

BLACK BOX THEATER

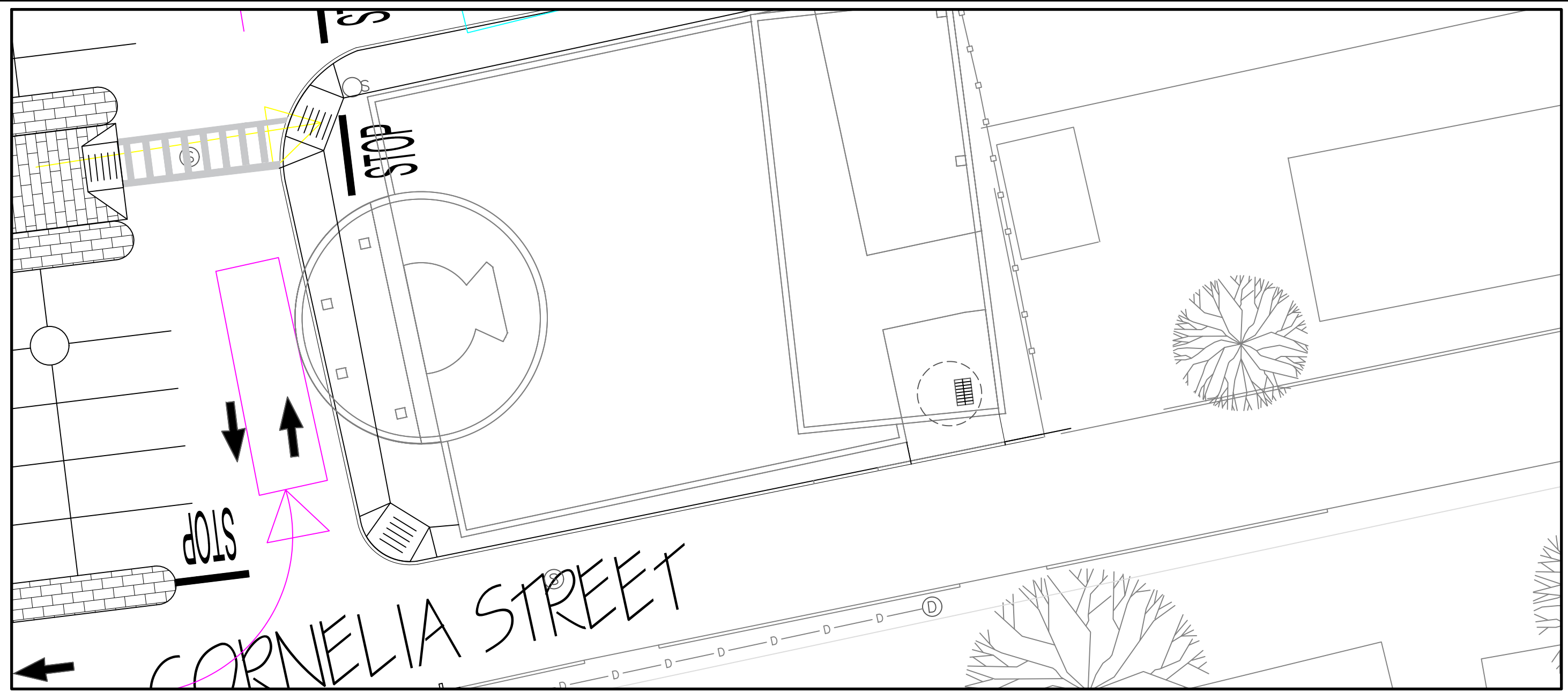
DESIGN 4
PROFESSOR ANDERSON
FARMINGDALE STATE COLLEGE
2350 BROADHOLLOW ROAD
FARMINGDALE NY 11735

G-900 P

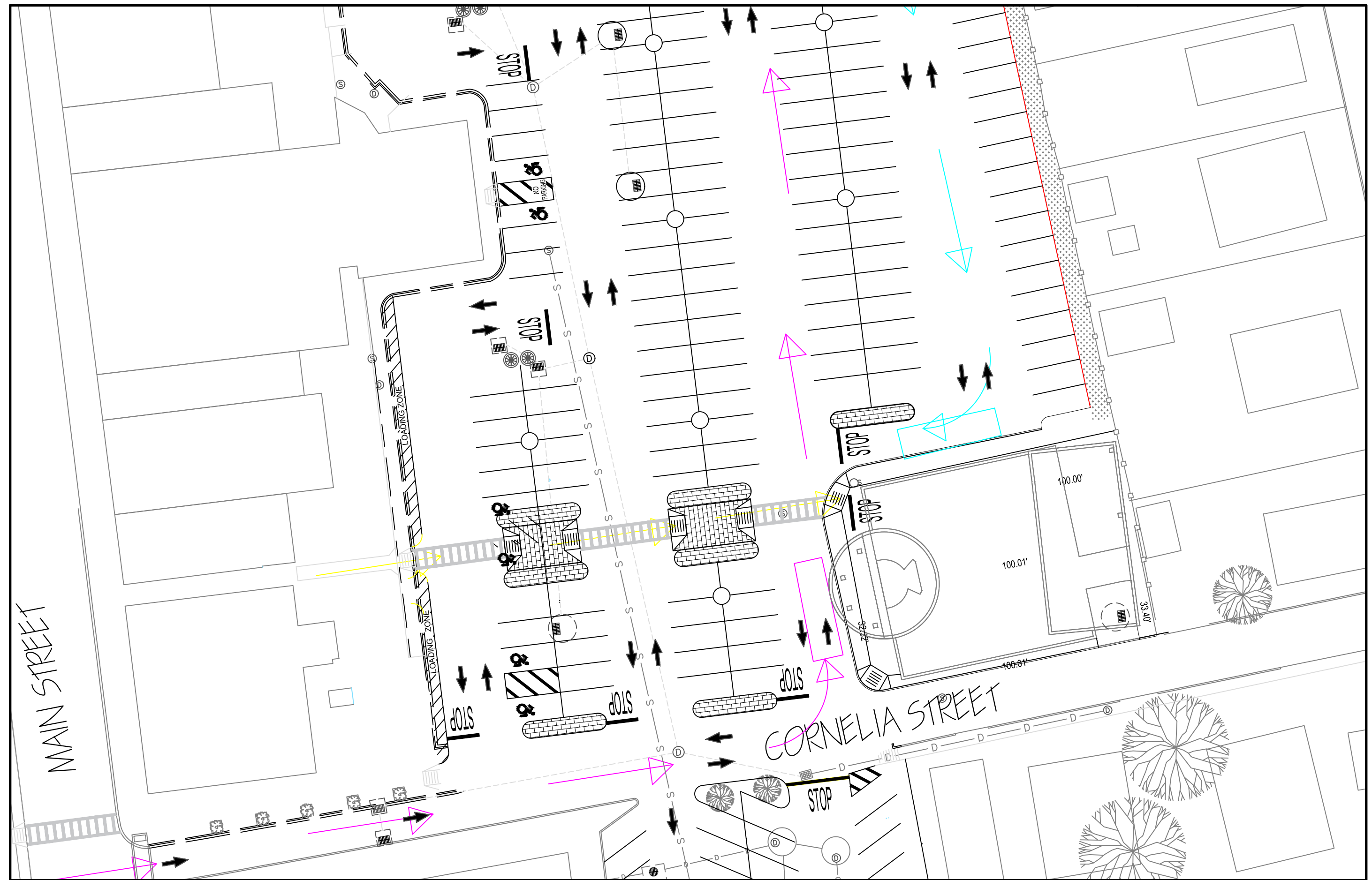


COMPREHENSIVE SITE PLAN
SCALE: 1/32" = 1'-0"

PROPOSED VALET PARKING WOULD BE CONSIDERED AT THE LIRR TRAIN STATION AND IF THERE'S NO SPACE AT THE LIRR, THEN PARKING WOULD BE AT THE AQUATIC CENTER.

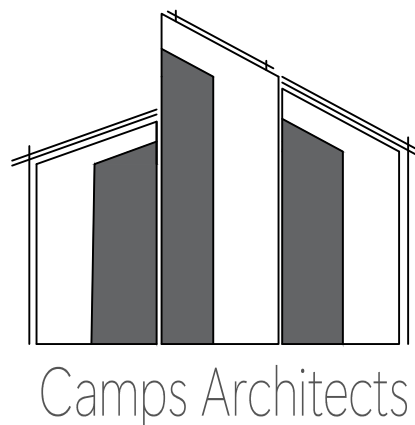


BUILDING ON SITE PLAN
SCALE: 1/16" = 1'-0"



PEDESTRIAN ROUTE & DROP OFF/PICK UP CIRCULATION PLAN
SCALE: 1/32" = 1'-0"

	PEDESTRIAN ROUTE
	DROP OFF CIRCULATION
	PICK UP CIRCULATION
	DEMOLITION



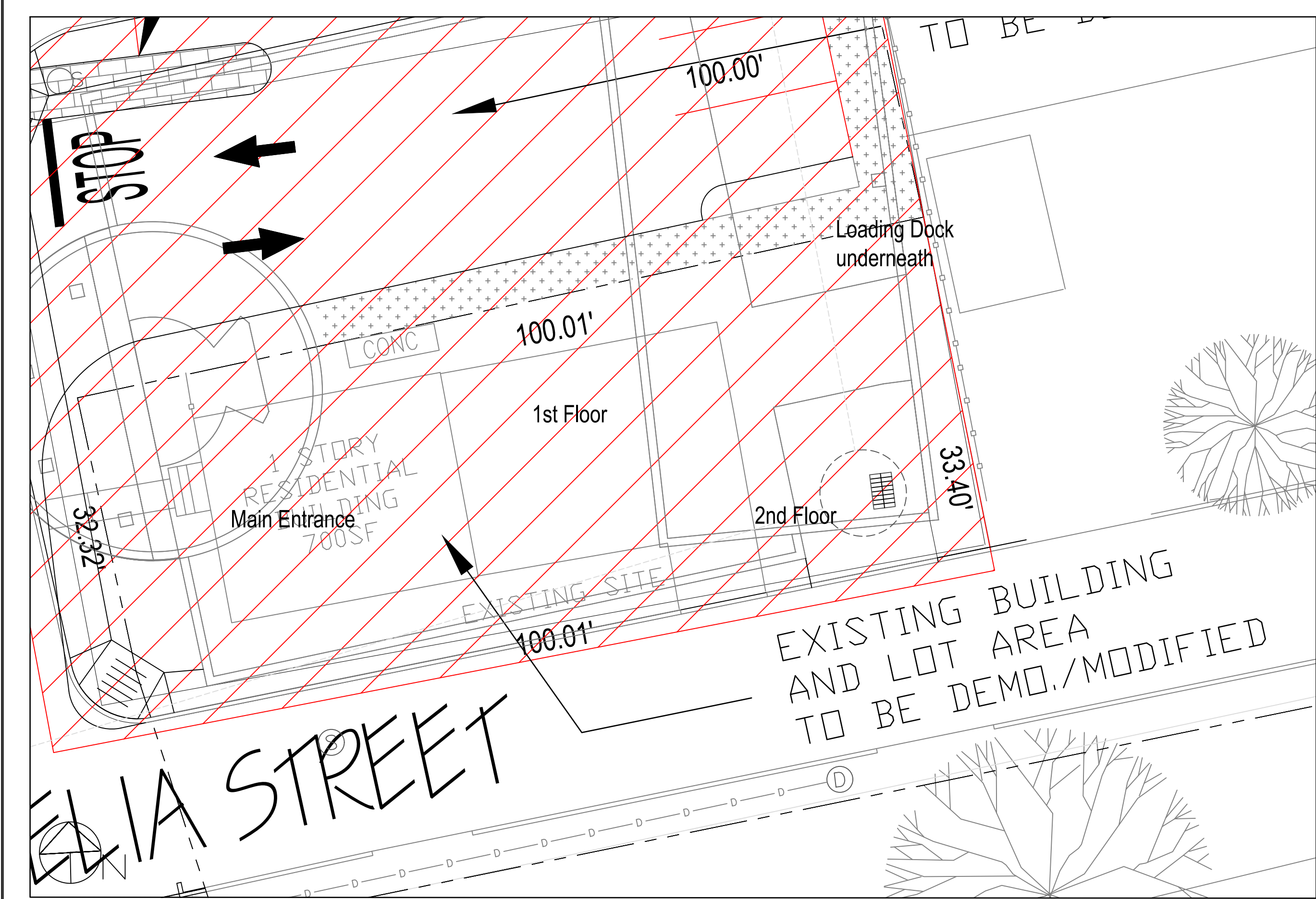
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PRELIMINARY SITE PLAN

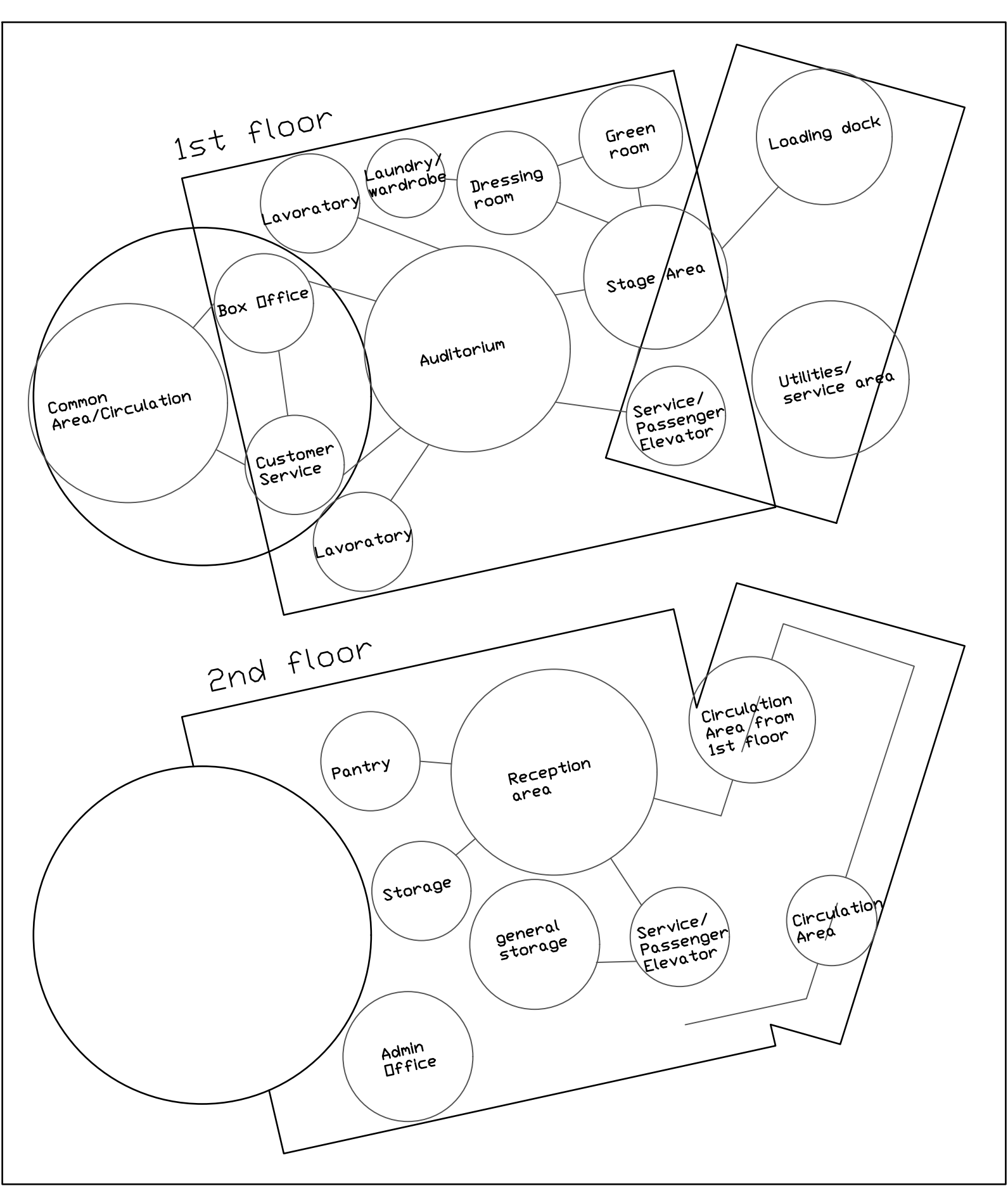
PROJECT ADDRESS: 141 DIVISION ST.
FARMINGDALE NY, 11735
TAX MAP #: 49 - 001 - 17
DRAWN BY: STEPHANIE CAMPOS
DATE: 14APRIL2025
SCALE: 1/32" = 1'-0"
REVISIONS:

SHEET TITLE

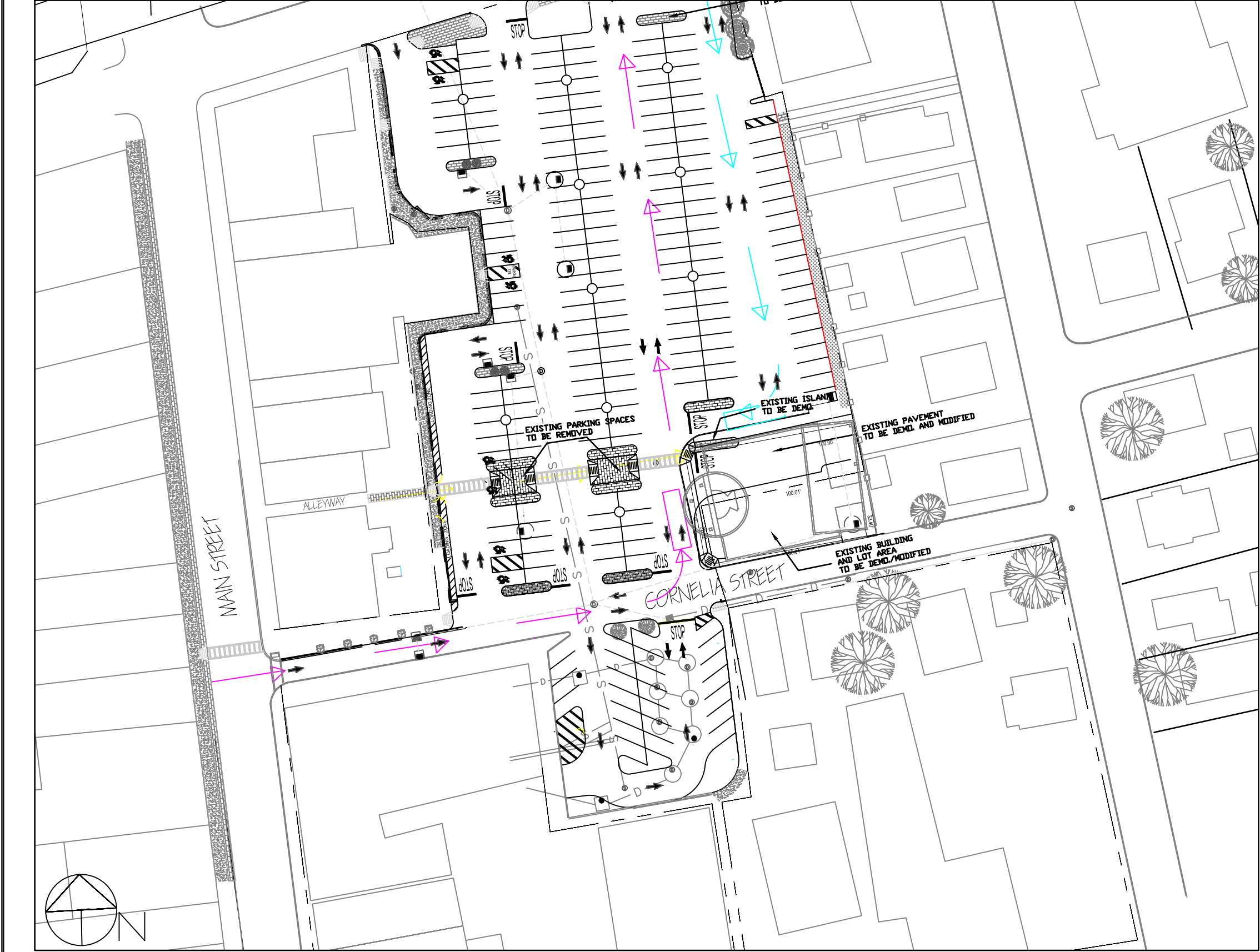
R-102



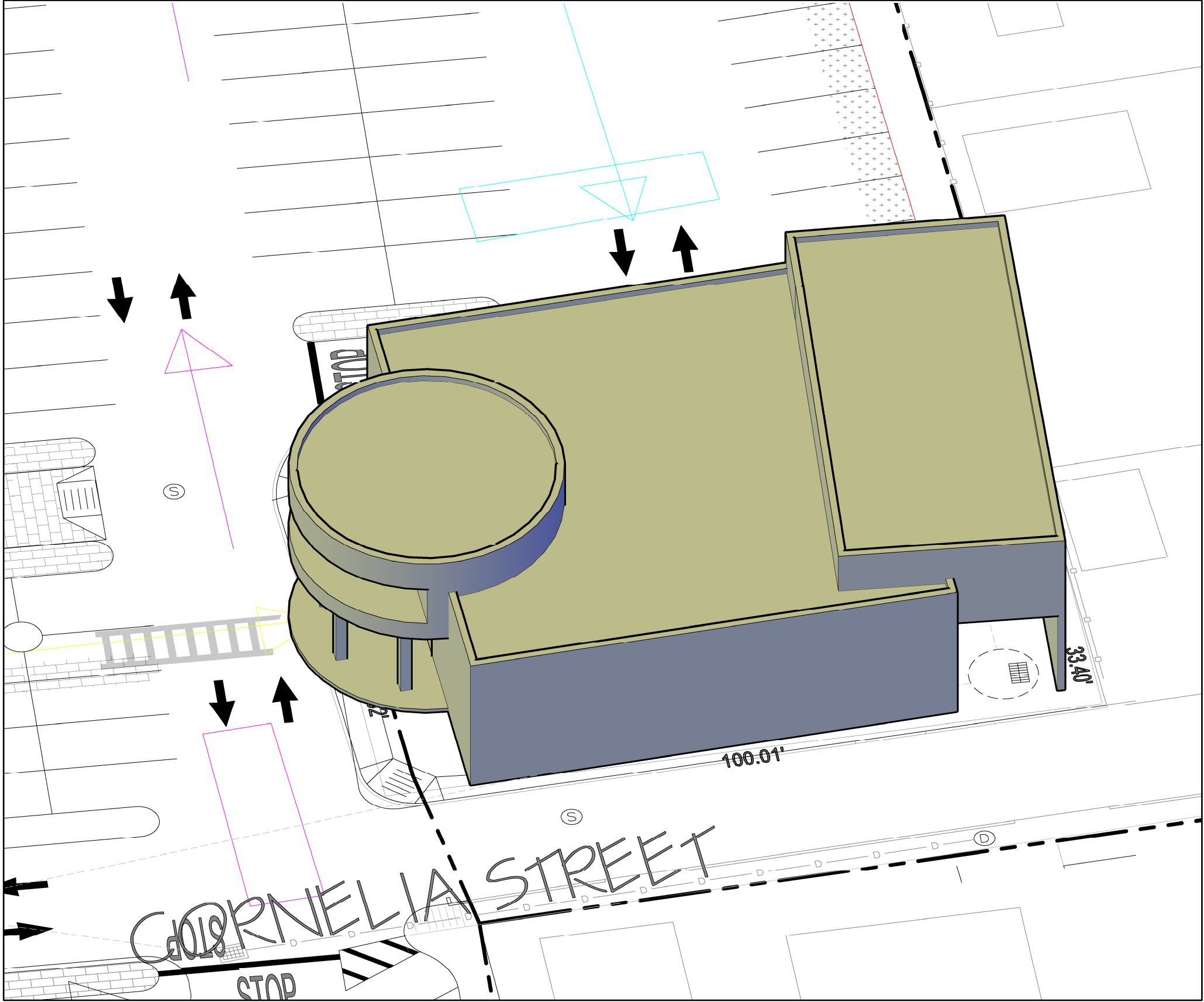
SCALE: 3/32" = 1'- 0"



SCALE: NTS



SCALE: 1/64" = 1'- 0"



SCALE: 3/32" = 1'- 0"

NARRATIVE

Introduction: The Village of Farmingdale plans to develop a Performing Arts Center on a site adjacent to the Main Street district to provide a flexible community space to host community-based drama, music and cultural performances. The village has identified the site at 141 Division Street, which is adjacent to the east parking area serving the Main St. district between Conklin St. and Front St. The project program and design response will be developed using a black box theater concept that provides a flexible lobby/arrival area, flexible staging and seating for 130-180 people with performance support spaces and building support spaces.

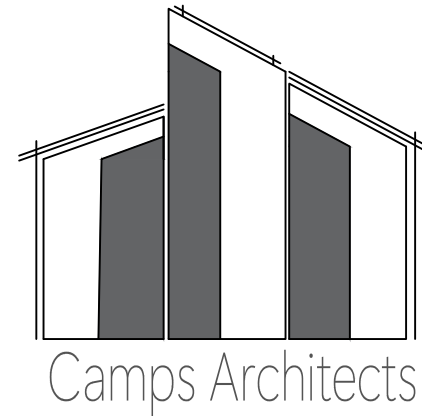
Conceptual Idea: The proposed Performing Art Center (PAC) in Downtown Farmingdale will feature:

- A striking architectural design that harmoniously blends a circular main entrance with uniquely shaped rectangular elements.
- The circular entrance symbolizes inclusivity and community, inviting residents and visitors into a vibrant cultural hub.
- A central rectangular structure as the main performance space, providing versatile functionality for various events.
- An angled rectangular extension adds dynamic visuals interest and further enhances the building's adaptability, allowing for additional programing and community engagement.

This innovative design not only distinguishes the PAC as a landmark but also fosters social interaction and accessibility. The circular entrance facilitates smooth pedestrian flow, while the entire structure prioritize universal access, ensuring everyone can enjoy the arts. Sustainability is key, with large glass panels maximizing natural light and promoting energy efficiency. By attracting visitors and supporting local artists, the PAC will act as a catalyst for economic revitalization in Downtown Farmingdale, enriching the community and enhancing its cultural landmark.

SWOT Analysis:

- **Strengths:** A uniquely shaped entrance that visually attracts people coming from main street. Energy efficiency, contributing to energy savings reducing operational costs.
- **Weaknesses:** The parking lot layout may not be favorable considering the size of the Performing Art Center. The design of the parking lot needs to be adjusted, if not the circulation from main street to the PAC is unfavorable. Higher maintenance needs, may require more frequent maintenance and cleaning, increasing operational costs over time. Potential service access conflicts.
- **Opportunities:** Visual landmark for the village, can facilitate better pedestrian flow. Gathering space encouraging social interaction before and after performances. Maximized use of natural lighting in the building contributing to energy efficiency. Working with local artists featuring their artistic elements to enhance the aesthetic appeal.
- **Threats:** Higher quality materials will affect construction costs. Engineering complexity, may create confusion to visitors unfamiliar with the space leading to disorientation during events. Cultural resistance/mixed community reaction: may be perceived too modern or out of character with the surrounding architecture.



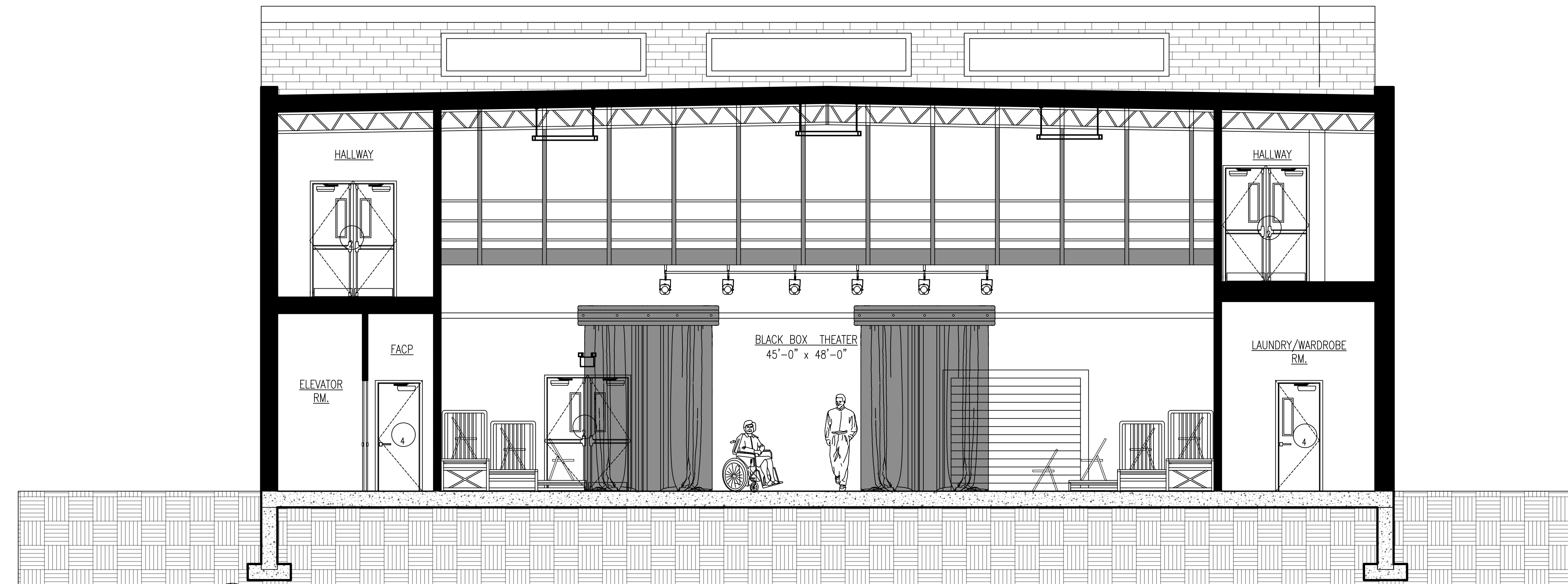
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PROJECT NARRATIVE

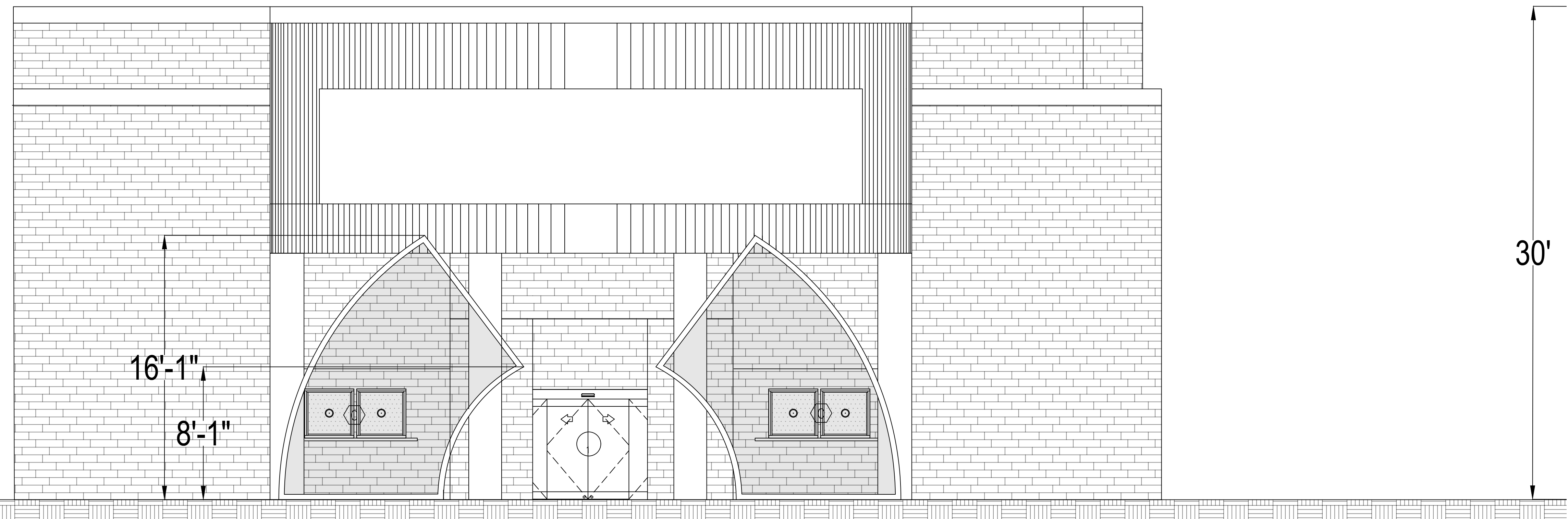
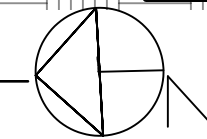
PROJECT ADDRESS: 141 DIVISION ST.
FARMINGDALE NY, 11735
TAX MAP #: 49 - 001 - 17
DRAWN BY: STEPHANIE CAMPOS
DATE: 14APRIL2025
SCALE: AS NOTED
REVISIONS:

SHEET TITLE

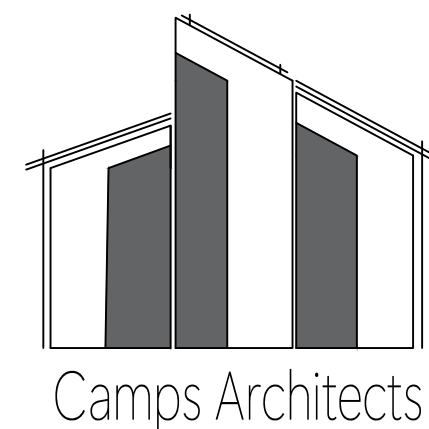
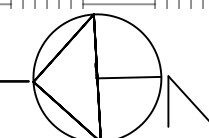
R-101



WEST SECTION
SCALE: 1/4" = 1'-0"



WEST ELEVATION
SCALE: 1/4" = 1'-0"

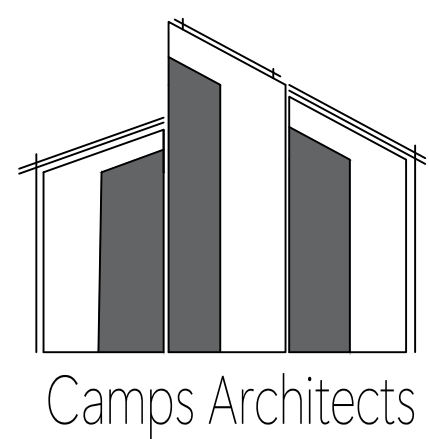
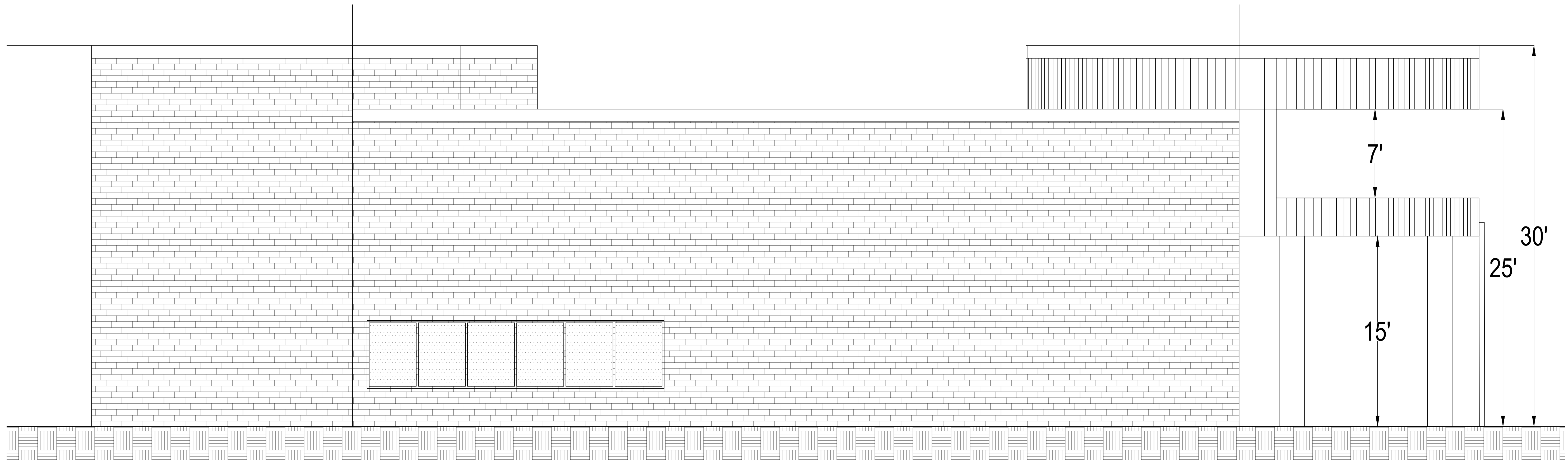
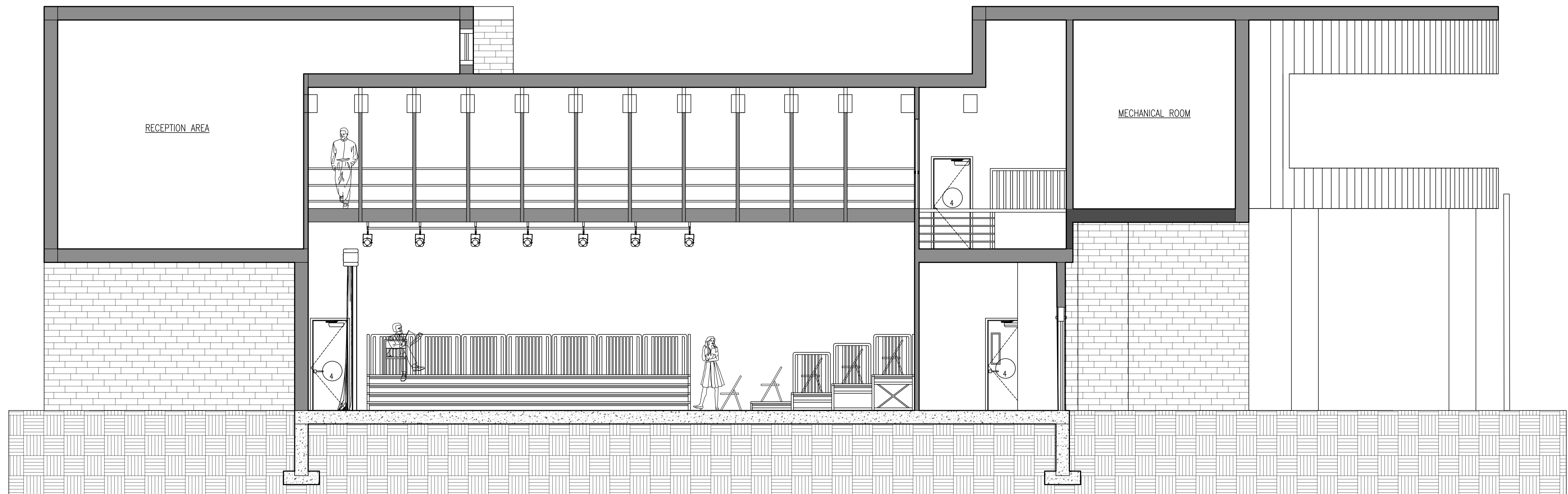


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SECTIONS & ELEVATION

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A-301 P



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SECTIONS & ELEVATION

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A-302 P

PROGRAM LIST

	Proposed/ Guestima ting					
Space	Size Considerat ions (sq. ft.)	Theater1: Emerson College	Theater 2: (Hofstra Unl)	Suny standards	Theater 4- Tabler Center	Calculated Average Sizing
Box Office	100-150	N/A	N/A	60		
Reception Area	200-300	769 total	450	~750 total	1566 total	~885
Customer Service	100-150	*Check occupancy code for lobby	N/A			
Auditoriu m/Theater Proper	2500-3000	2307 total	3200 total	16 sq ft. per station	4000 total including other	~3380 total
Stage Area	1200-1800			4000	programs	
Flex-Multi Function with Dressing Room	500-1000	tot:632/2 drss.rooms = 316	2400 total	360 per location	tot: 359/2rms.=1 79 avg	~940
Green Room with Vending Area	300-400	N/A	200 total	600/12 sq.foot per station	128	~310
Laundry/W ardrobe	300-500	N/A	N/A	120	N/A	~N/A
Pantry	150-250	53	N/A	80	N/A	66.5
Common Areas/Circ ulation Areas	Varies (20- 30% of total floor area)	Varies	Varies	varies	4600	Varies
Toilet Facilities	Varies per occupancy count	tot: 861/8 bth = 106.3 average	Tot:1,240/ 4 bth =	varies	tot: ~361/4=90.2 5 avg.	Tot:820
			310 average			
Storage Area	200-400	tot:253/3 strg.rooms = 84.33 avg.	N/A	1200	1083	~850
General Storage	500-800	tot: 173/2 gen strg. =86.5 avg	N/A	750	186	~370
Loading Dock	500-1000	68	80	as required	N/A	As required
Fire Escape/Sta irs	Per building code	N/A	As required	as required	N/A	As required
Admin Office	200-400	302	96	180 sq. foot per station	265	~210
Passenger Elevator	Per ADA requireme nts	29	80	as required	120	~80(as required)
Service Elevator	Per equipment needs	79	96	as required	N/A	As required
Utility Areas & Support Facilities	300-600	2,599	300	1200	tot: 1788/4rms = 420 avg.	1470
total	~ 8,000 - 11,000	~10211	~10,000	~11300	~20000* Including other programs not listed	13,400 sq.ft

PHASE I PROGRAM

Space	Square Feet
Box Office	131 SF
Reception Area	1815 SF
Customer Service	131 SF
Auditorium/Theater Proper	4320 SF
Stage Area	W/AUDITORIUM
Flex-Multi Function with Dressing Room	147 SF
Green Room	169 SF
Laundry/Wardrobe	161 SF
Pantry	W/RECEPTION
Common Areas/Circulation Areas	1,570 SF
Toilet Facilities	360 SF
Storage Area	242 SF
General Storage	192 SF
Loading Dock	416 SF
Fire Escape/Stairs	232 SF
Admin Office	183 SF
Passenger Elevator	76 SF
Service Elevator	NONE
Utility Areas & Support Facilities	555 SF
total	10700 SF

PHASE II PROGRAM

BUDGET ESTIMATE

PHASE I PROGRAM BUDGET

ARC476-Project Cost Planning Performing Arts Center

Allocations		
Project Total		\$12,802,113
	% Project	
Construction	75%	\$ 9,601,585
Design Contingency	5%	\$640,105.65
Project Contingency	5%	\$640,105.65
Architects Fees	7%	\$896,147.91
Pre-Design Services	3%	\$384,063.39
Building Permits	3%	\$384,063.39
Reimbursable Expenses	2%	\$256,042.26
	100%	\$12,802,113

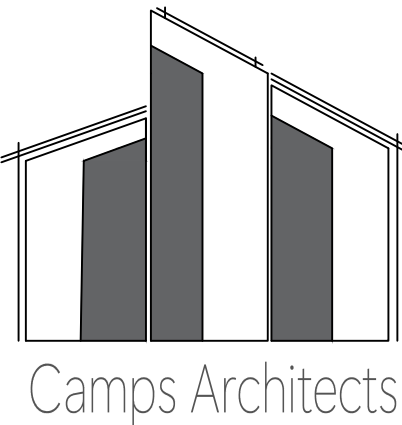
ENTER GROSS SQUARE AREA=	13400	cost per
	GSF	GSF
Project construction cost per GSF	13,400	\$ 717
Project costs per GSF	13,400	\$ 955

PHASE II DESIGN BUDGET

ARC476-Project Cost Planning Performing Arts Center - Rising Portal

Allocations		
Project Total		\$11,511,651
	% Project	
Construction	75%	\$ 8,633,738
Design Contingency	5%	\$575,582.56
Project Contingency	5%	\$575,582.56
Architects Fees	7%	\$805,815.58
Pre-Design Services	3%	\$345,349.54
Building Permits	3%	\$345,349.54
Reimbursable Expenses	2%	\$230,233.02
	100%	\$11,511,651

ENTER GROSS SQUARE AREA=	10700	cost per
	GSF	GSF
Project construction cost per GSF	10,700	\$ 807
Project costs per GSF	10,700	\$1,076



STEPHANIE CAMPOS

Budget & Program

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